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Mary Konrad, Clerk
Christine McKinley, Treasurer



Trustees:
Allena Barbato
Scott Bartlett
Glenn McCollum
Jeff Nielsen
Tom O'Reilly
Doug Savell

The Village of Lake Villa

**Special Plan Commission – Meeting Agenda
Thursday, June 13, 2024
Village Hall, 65 Cedar Avenue**

7:00 pm

1. Call to Order & Roll Call
2. Pledge of Allegiance
3. **Public Hearing**: Conditional Use Permit for a Planned Development at 801 Tower Drive for a proposed Gas Station
4. Public Comment
5. Adjournment

Individuals with disabilities who require certain accommodations in order to allow them to observe and/or participate in this meeting, or who have questions regarding the accessibility of the meeting or the facilities, are required to contact Village Hall at (847) 356-6100 promptly to allow the Village to make reasonable accommodations for those persons.



DATE: June 7, 2024

TO: Chairman Craig Kressner and Members of the Plan Commission

FROM: Jake Litz, Assistant to the Village Administrator

RE: 801 Tower Drive – Gas Station

<u>Property Owner</u>	<u>Property Location</u>	<u>Zoning District</u>
Dharni Properties, LLC 81 Preserve Ct. Lindenhurst, IL 60046	Southwest Corner – Grass Lake Road & Deep Lake Road	Suburban Business (SB)
Petitioner and/or Contract Purchaser:	Dharni Properties, LLC 81 Preserve Ct. Lindenhurst, IL 60046 Eric Eriksson Architect 3816 Lizette Glenview, IL 60026	
Representatives:	Sam Dharni, Owner	
Site Location:	801 Tower Drive	

Requested Action(s)

1. Preliminary and Final Plat/Plan Approval for Phase 2-A of the Lake Tower Crossing Planned Development (Amendment to Existing Conditional Use Permit)

Project Background and Summary

The Subject Property, located in the northwest corner of the Tower Crossing Development at of the Deep Lake Road and Grass Lake Road, is comprised of a 1.7 acres undeveloped site with access to Tower Drive to the east. The property is currently zoned Suburban Business (SB).

The Petitioner is proposing a mixed-use commercial development consisting of a convenience store, a fueling center, a car wash, a drive-through restaurant and related improvements ("Project") on the Subject Property.



Map source: Lake County GIS

A conceptual review was previously presented to the Plan Commission at the February 8, 2024 PC/ZBA meeting.

The Subject Property:

- Is approximately 75,000 square feet in area;
- Is Zoned SB Suburban Business and located in the Lake Tower Crossing PUD;
- Is located on the northeast corner of the Lake Tower Crossing Development;
- Is surrounded by:
 - o North: SR Suburban Residential property that is currently developed with an elementary school (Oakland Elementary School)
 - o South: SB Suburban Business commercial property consisting of a bank with an accessory drive-thru
 - o East: R1 Single-Family Residential property that is currently developed with athletic fields for Lakes Community High School
 - o West: SB Suburban Business commercial property that is the site that will be developed with a multi-tenant quick-serve restaurant and attached commercial space (Dunkin' Donuts parcel)

Proposed Project

The Petitioner is proposing to construct a brand-new convenience store, carwash and gas pumps on the Subject Property.

- The new convenience store will be located in approximately the same location as the previously approved gas station and convenience store proposed and approved by the Village Board via Ordinance 2020-07-07;
- The store will operate 24/7 365 days a year and staffed with no more than two (2) employees at one time;
- The new building will be 6,076 square feet in area along with an 816 square foot building for a carwash operation;
- Installation of six gasoline pump stalls to service twelve vehicles on the north end of the Subject Property which is under a canopy. No semi-truck filling stalls are proposed;
- Installation of four vacuum stalls adjacent to carwash facility;
- Installation of 50 parking stalls which is greater than the number of parking stalls that were previously granted for Phase 2-A (34 parking stalls);
- Access to the Subject Property will be restricted to two (2) full access drives located on Tower Drive, and the adjacent parking lot of the Credit Union bank;
- Installation of two (2) drainage and stormwater basins will be located on the site to manage and hold stormwater for the development, along the northwest corner and southern border of the parcel;
- An additional by-pass drive-thru lane is proposed between the car wash and c-store facility;
- Installation of green space around the perimeter of the site and a new monument sign on the northeast corner of the Subject Property is proposed. The currently approved PUD requires that a five (5) foot landscape buffer be installed between the convenience store and the Credit Union property along with a five (5) foot solid board-on-board fence the length of the drive-thru lane on the bank property; and
- The proposed facility would not have vehicle service bays.

Required Zoning Relief

- Repeal the existing Planned Unit Development (PUD) for Phase 2-A approved via Ordinance 2020-07-07;
- Approval for Amendment to existing Lake Tower Crossing PUD and approval for modifications to the Site Plan and development proposal for Phase 2-A of the Lake Tower Crossing Development with exceptions, as noted below;
- New Special Use Permit to allow a Carwash; and
- Site Plan Approval and Building Elevation Approval

Staff Analysis – Final Plat and PUD for 801 Tower Drive – *Please see the attached documents as reference.*

The request is for an amendment to the existing conditional use permit. The approval being sought is for Preliminary and Final Plat/Plan Approval for the Lake Tower Crossing Planned Development. As stated in the Village's Zoning Code, the Final Plan shall be in substantial compliance with the Preliminary PUD (in this instance, this request is occurring simultaneously). The review of the Final Plat/PUD for the PCZBA shall stay within the parameters of the intentions of the Village's Zoning Code.

Planning and Plat Comments:

- Zoning relief for parking spaces would continue to be required. Thirty-six (36) parking spaces are provided, an increase of twenty-two (22) spaces from the 2020 PUD, compared with 60 spaces required based on underlying zoning for a convenience store use.
- No more than two business signs shall be permitted per business use (Subsection 4.10.5) Two are shown for the gas station, two for the ancillary retail and one for the car wash. If the car wash is part of the gas station business, the planned development would need to allow for this additional sign.
- The petitioner has requested an 18' tall ground sign due to existing landscaping that would block view of the sign. The Zoning Ordinance only allows twelve (12) feet high signs.

Engineering Comments:

- Parking lot pavement method/ materials will need to be provided to the Village prior to construction.
- LCDOT approval will be required prior to construction.

Stormwater Comments:

- Final engineering shall provide contact information for the required designated erosion control inspector.
- Prior to Final Approval of the stormwater improvements maintenance plan for the stormwater facilities needs to be provided for review, approval, and then recorded with the plat for the stormwater facilities.

Landscaping/Signage Comments:

- The addition of landscape buffering at southern boundary of site adjacent to Bank should be included prior to construction per Plan Commission comments.

As noted in the enclosed review letters, and draft motion of findings of fact, the Petitioner is requesting preliminary and final PUD approval with the following exceptions to the Zoning Code:

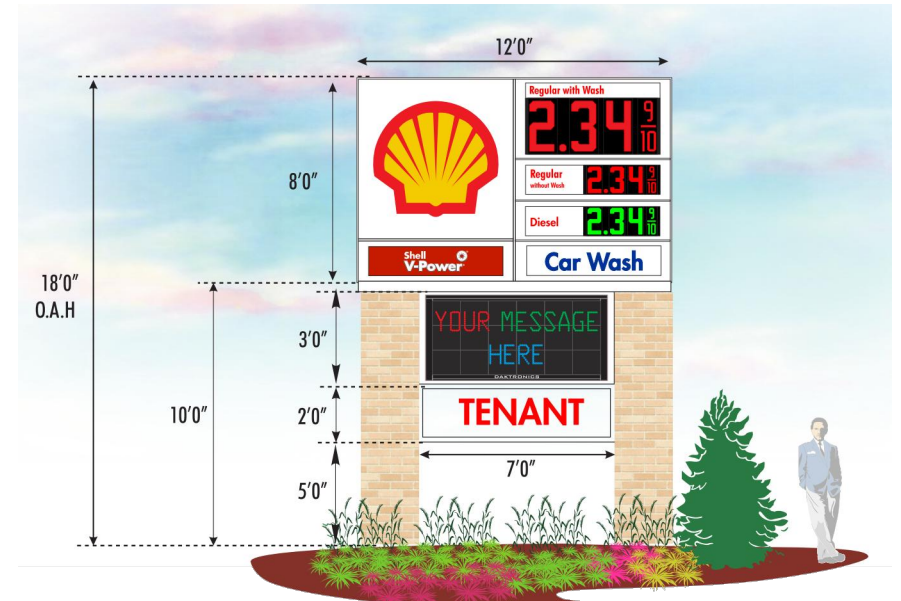
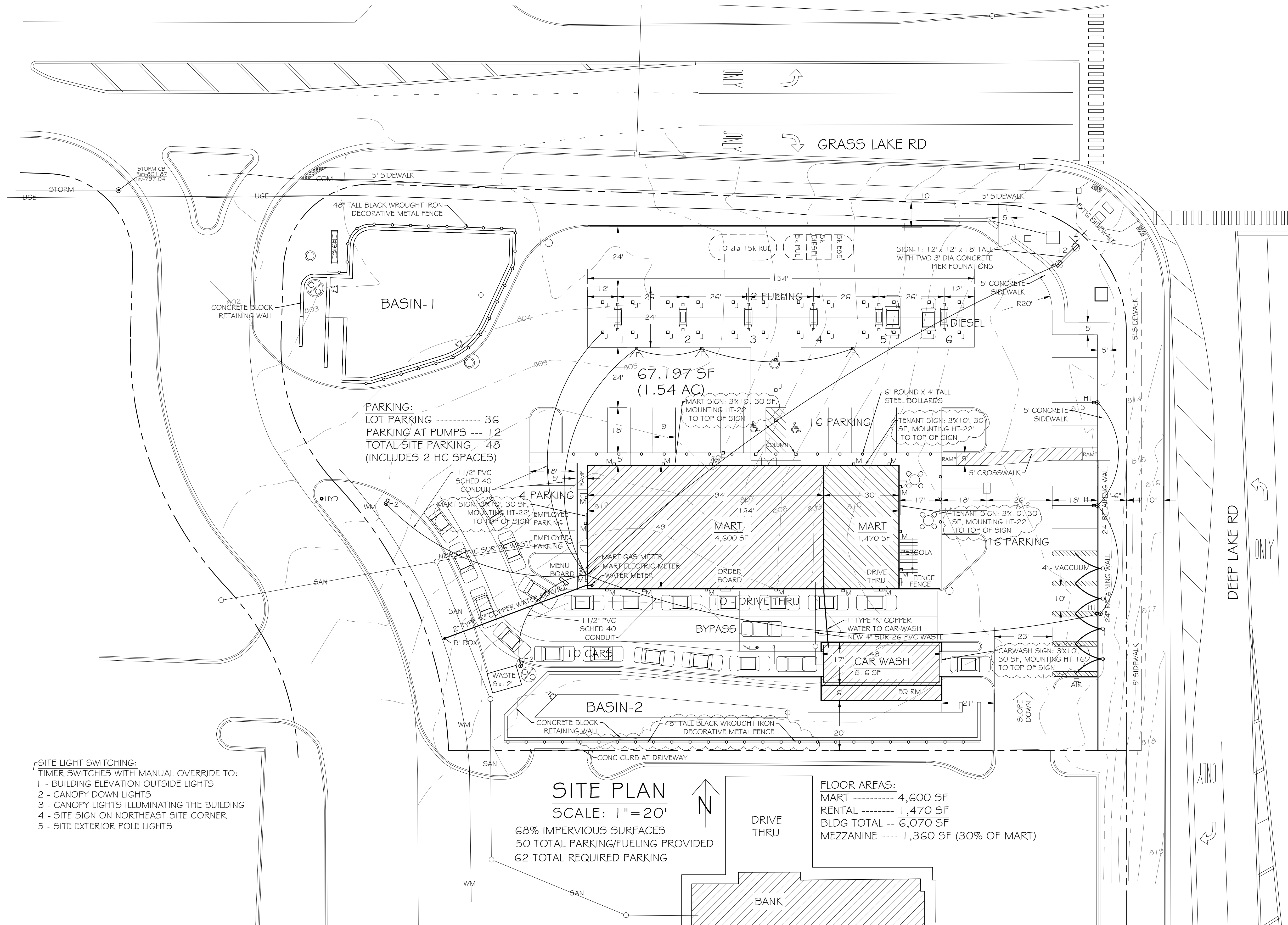
- *Parking*: Thirty-six (36) parking spaces are provided, an increase of twenty-two (22) spaces from the 2020 PUD, compared with 60 spaces required based on underlying zoning for a convenience store use.
- *Signage*: No more than two business signs shall be permitted per business use. Two signs are included for the gas station, two for the ancillary retail, and one for the car wash. The planned development would need to allow for this additional sign. Additionally, the Zoning Ordinance only allows twelve (12) feet high signs, the proposed sign height is 18'.

Action Requested

As the Preliminary and Final PUD and Plat Application, and associated documents are substantially conforming to the Preliminary PUD, staff is recommending approval of the Final PUD for 801 Tower Drive.

Attachments

- A. Plan Submittal Set
- B. Consultant Comments



SIGN-1 (@NE CORNER)

ARCHITECT'S CERTIFICATION:
I hereby state that these drawings were prepared under my supervision and that to the best of my knowledge comply with the requirements of the building codes of Lake Villa, IL.

Signed: _____ Dated: 5-17-2024
Lisc expires: 11-30-2024

ERIC ERIKSSON
001.010120
LICENSED ARCHITECT,
STATE OF ILLINOIS

- DESIGN CRITERIA:
- GROUND SNOW - $P_g = 30$ psf
 - FLAT ROOF SNOW LOAD = 21 psf (use 30)
 - SNOW DRIFT LOAD = 26 psf
 - DRIFT WIDTH = 6 FT
 - SNOW EXPOSURE FACTOR - $C_e = 1.0$
 - SNOW IMPORTANCE FACTOR - 1.0
 - THERMAL FACTOR - $C_t = 1.0$
 - WIND LOAD - 90 mph (3 sec) = 20 psf
 - WIND EXPOSURE - "B"
 - WIND IMPORTANCE FACTOR - 1.0
 - INTERNAL PRESSURE COEFFICIENT: 0.3
 - INCH WATER GAUGE (75 Pa)
 - ROOF DEAD LOADS:
 - roofing and insulation-----3 psf
 - deck-----1 psf
 - joists-----2 psf
 - HVAC ducts-----2 psf
 - ceiling and lights-----3 psf
 - sprinkler pipes-----2 psf
 - misc-----1 psf
 - total Roof Dead Load-----15 psf
 - SEISMIC CRITERIA:
 - DESIGN CATEGORY - B SITE CLASS - II
 - IMPORTANCE FACTOR - 1.0
 - LOADS: $S_{ms} = .2$ gravity, $S_{m1} = .06$, $S_{ds} = .133$, $S_{d1} = .04$, $S_s = .2$, $S_1 = .06$

- INDEX:
- A1 SITE PLAN
 - A2 FIRST FLOOR PLAN
 - A3 MEZZANINE PLAN
 - A4 REFLECTED CEILING PLAN
 - A5 FOUNDATION PLAN
 - A6 FRAMING PLAN
 - A7 ELEVATIONS
 - A8 WALL SECTIONS
 - A9 WALL SECTIONS
 - A10 INTERIOR ELEVATIONS, FINISHES
 - A11 SPECIFICATIONS
 - M1 MECHANICAL PLAN
 - M2 MECHANICAL SPECS
 - P1 PLUMBING WASTE PLAN
 - P2 PLUMBING WATER PLAN
 - E1 ELECTRICAL POWER PLAN
 - E2 ELECTRICAL LIGHTING PLAN
 - E3 ELECTRICAL SCHEDULES

(SIGNAGE)	5-17-2024	PLAN COMMISSION
	3-25-2024	PLAN COMMISSION

DRAWING RECORD

ERIKSSON

ARCHITECTURE

3816 LIZETTE GLENVIEW
IL 60026 847-370-6550

erikssonarchitecture@comcast.net

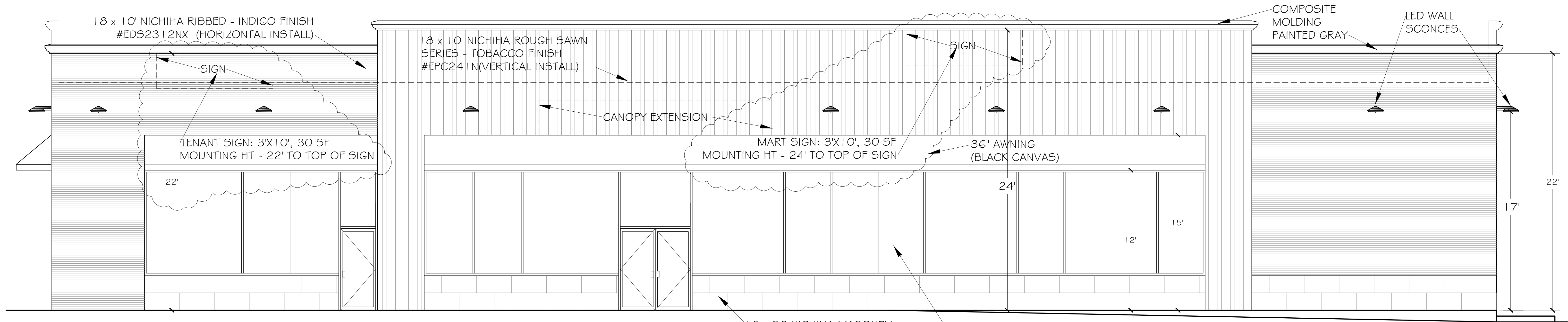
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NEW GAS STATION
801 TOWER RD
LAKE VILLA, IL

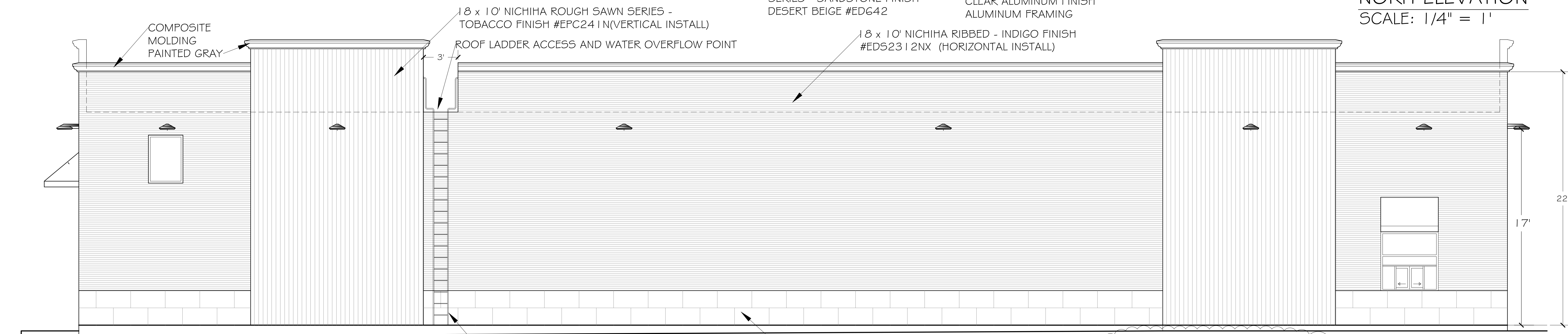
SITE PLAN	
PROJECT #	SHEET
PERMIT #	A1

ERIC ERIKSSON
ARCHITECT
3816 LIZETTE GLENVIEW
IL 60026 847-370-6550
erikssonarchitecture@comcast.net

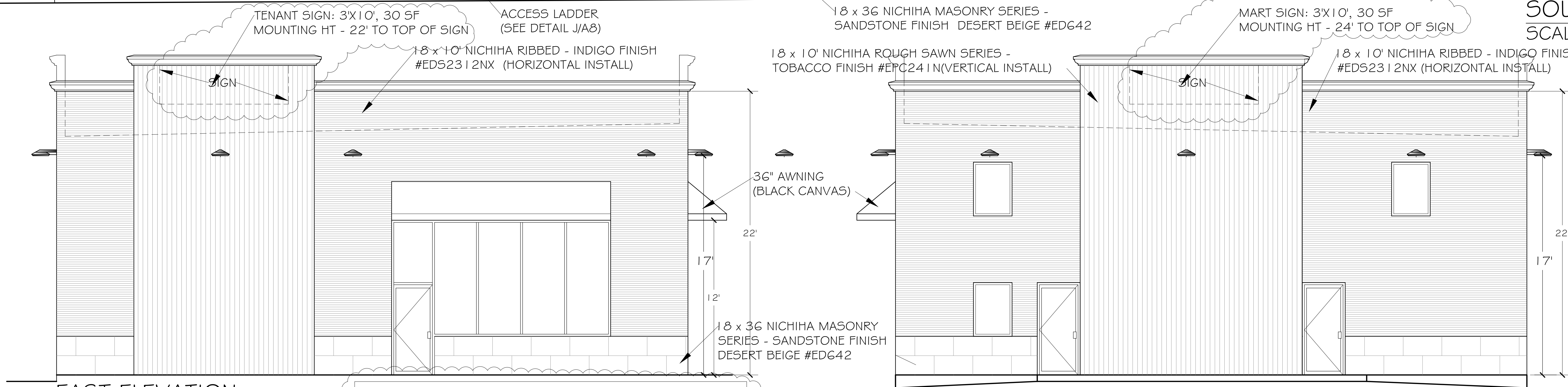
NEW GAS STATION
801 TOWER RD
(GRASS LAKE RD AT DEEP LAKE RD)
LAKE VILLA, IL



NORTH ELEVATION
SCALE: 1/4" = 1'



SOUTH ELEVATION
SCALE: 1/4" = 1'

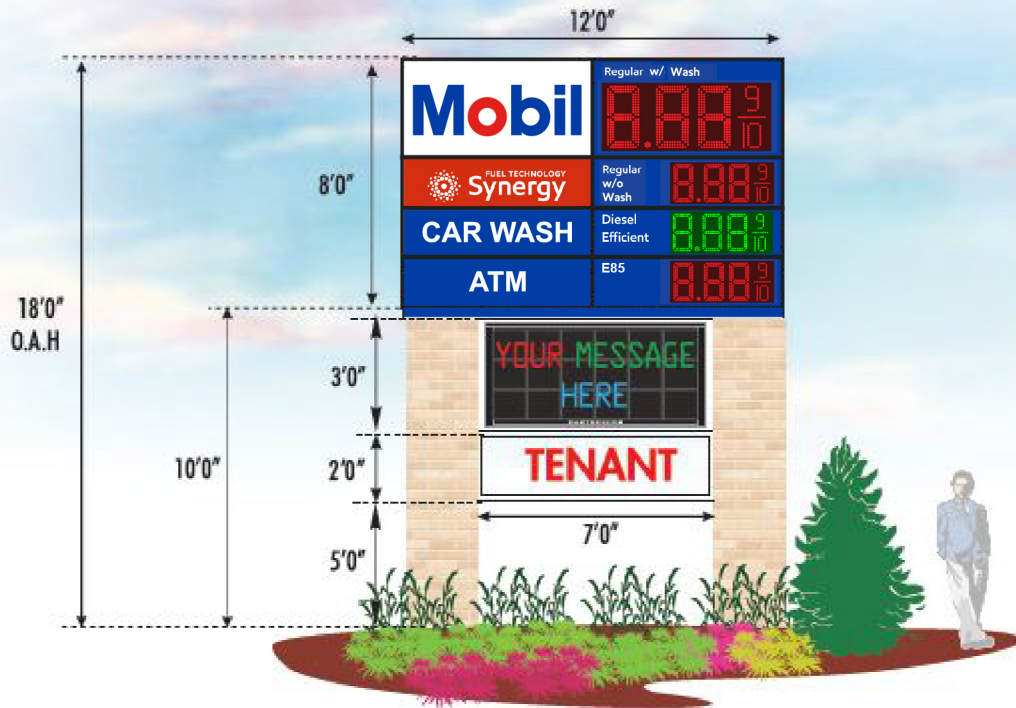


EAST ELEVATION
SCALE: 1/4" = 1'

WEST ELEVATION
SCALE: 1/4" = 1'

SIGNAGE NOTE: CARWASH BLDG TO HAVE SINGLE 3'X10' SIGN ON EAST ELEVATION WITH MOUNTING SIMILAR TO MART BLDG.

	5-17-2024	PLAN COMMISSION
NO	DATE	DESCRIPTION
DRAWING RECORD		
ERIKSSON		
ARCHITECTURE		
3816 LIZETTE GLENVIEW		
IL 60026 847-370-6550		
erikssonarchitecture@comcast.net		
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NEW GAS STATION		
801 TOWER RD		
LAKE VILLA, IL		
ELEVATIONS		
PROJECT #		SHEET
PERMIT #		A7



ENGINEERING NOTES

1. ALL SITE WORK AND GRADING OPERATIONS WITHIN THE LIMITS OF THIS PROJECT SHALL BE DONE IN ACCORDANCE WITH THE CURRENT EDITION, AND ALL REVISIONS OF THE ILLINOIS DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. THE CONTRACTOR SHALL ALSO FOLLOW ALL STATE, COUNTY AND LOCAL JURISDICTIONAL ORDINANCES AND REQUIREMENTS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS FOR CONSTRUCTION ALONG OR ACROSS EXISTING STREETS OR HIGHWAYS. THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR THE PROPER BRACING, SHORING AND OTHER REQUIRED PROTECTION OF ALL ROADWAYS BEFORE CONSTRUCTION BEGINS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE STREETS OF ROADWAYS AND ASSOCIATED STRUCTURES AND SHALL MAKE REPAIRS AS NECESSARY TO THE SATISFACTION OF THE OWNER.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF IDOT STANDARD TRAFFIC CONTROL AND PROTECTION DEVICES TO INFORM AND PROTECT THE PUBLIC, IN COMPLIANCE WITH IDOT STANDARD TRAFFIC CONTROL AND PROTECTION SPECIFICATIONS.
4. EASEMENTS FOR EXISTING UTILITIES, BOTH PUBLIC AND PRIVATE, AND UTILITIES WITH PUBLIC RIGHT OF WAY ARE SHOWN ON THE PLANS ACCORDING TO INFORMATION AVAILABLE IN THE RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION IN THE FIELD OF THESE UTILITY LINES AND THEIR PROTECTION FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS. IF EXISTING UTILITY LINES OF ANY NATURE ARE ENCOUNTERED WHICH CONFLICT IN LOCATION WITH NEW CONSTRUCTION THE CONTRACTOR SHALL NOTIFY THE OWNER SO THAT THE CONFLICT MAY BE RESOLVED.
5. BEFORE ACCEPTANCE BY THE OWNER AND FINAL PAYMENT, ALL WORK SHALL BE INSPECTED AND APPROVED BY THE OWNER AND MUNICIPALITY.
6. THE CONTRACTOR SHALL GUARANTEE HIS WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE AND SHALL BE HELD RESPONSIBLE FOR ANY DEFECTS IN MATERIAL OR WORKMANSHIP DURING THAT PERIOD.
7. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL MUNICIPAL REGULATIONS, CODES AND O.S.H.A. STANDARDS.
8. PARCEL AREA: 67,724 sqft. (1.55 ACRES).

DEMOLITION NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL WASTE MATERIAL IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES INCLUDING, BUT NOT LIMITED TO, STRUCTURES, FOUNDATIONS, CONCRETE, ASPHALT, STEEL, UTILITIES, DRAINAGE STRUCTURES, ETC.
2. CONTRACTOR TO DEMOLISH THE SITE SUCH THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS CAN BE CONSTRUCTED.
3. ALL UNSUITABLE MATERIAL THAT WOULD CONFLICT WITH THE PROPER CONSTRUCTION OF THE PROPOSED IMPROVEMENTS SHALL BE REMOVED.
4. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS FROM ALL GOVERNING AGENCIES PRIOR TO THE START OF SITE DEMOLITION.
5. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THAT ALL EXISTING UTILITY SERVICES ARE DISCONNECTED OR PROTECTED PRIOR TO THE START OF DEMOLITION OF THE SITE.
6. THE CONTRACTOR SHALL COORDINATE WITH THE RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES ASSOCIATED WITH UTILITY COORDINATION.
7. THE EXISTING UTILITIES SHOWN ON THE PLANS HAVE BEEN LOCATED BASED ON THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY.
8. PRIOR TO THE START OF ANY SITE DEMOLITION, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ONSITE LOCATIONS OF EXISTING UTILITIES.
9. ALL UTILITIES THAT ARE REQUIRED TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY PRIOR TO THE START OF DEMOLITION.
10. CONTRACTOR MUST PROVIDE A BARRIER FROM PUBLIC ACCESS TO THE SITE PRIOR TO THE START OF DEMOLITION ACTIVITY AND UNTIL SITE DEMOLITION HAS BEEN COMPLETED.
11. SITE DEMOLITION SHALL NOT CONFLICT WITH ACCESS TO ADJACENT SITES OR TRAFFIC AND PEDESTRIAN FLOW IN ADJACENT PUBLIC R.O.W.'S.
12. ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED PRIOR TO THE START OF DEMOLITION ACTIVITY.
13. ANY IMPROVEMENTS, STRUCTURES, PAVEMENTS UTILITIES OR PROPERTY, EITHER ON-SITE OR OFF-SITE, THAT BECOMES DAMAGED DURING SITE DEMOLITION SHALL BE REPLACED BACK TO ITS ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
14. DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE.

UTILITY NOTES

JOINT UTILITY LOCATION INFORMATION FOR EXCAVATORS CONTRACTOR SHALL ALSO REQUEST THE LOCAL CABLE T.V. COMPANY FOR LOCATION OF THEIR FACILITIES

LOCATION REQUESTS SHOULD BE MADE TO THE PUBLIC WORKS DEPARTMENT FOR WATER, SANITARY, STORM AND ELECTRICAL.

ANY REVISIONS TO THE APPROVED ENGINEERING PLANS MUST BE REVIEW AND APPROVED BY THE GOVERNING AGENCIES, OWNER, AND ENGINEER OF BENSENVILLE BEFORE ANY WORK IS PERFORMED REGARDING THE REVISED ITEMS.

LAKE COUNTY STORMWATER MANAGEMENT COMMISSION
SOIL EROSION AND SEDIMENT CONTROL CONSTRUCTION NOTES

- A. SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF HYDROLOGIC DISTURBANCE OF UPLAND AREAS.
- B. FOR THOSE DEVELOPMENTS THAT REQUIRE A DESIGNATED EROSION CONTROL INSPECTOR (DECI), INSPECTIONS AND DOCUMENTATION SHALL BE PERFORMED, AT A MINIMUM:
- UPON COMPLETION OF SEDIMENT AND RUNOFF CONTROL MEASURES (INCLUDING PERIMETER CONTROLS AND DIVERSIONS), PRIOR TO PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING.
 - AFTER EVERY SEVEN (7) CALENDAR DAYS OR STORM EVENT WITH GREATER THAN 0.5 INCH OF RAINFALL OR LIQUID EQUIVALENT PRECIPITATION.
- C. SOIL DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. IF STRIPPING, CLEARING, GRADING, OR LANDSCAPING ARE TO BE DONE IN PHASES, THE PERMITTEE SHALL PLAN FOR APPROPRIATE SOIL EROSION AND SEDIMENT CONTROL MEASURES.
- D. A STABILIZED MAT OF CRUSHED STONE MEETING IDOT GRADATION CA-1 UNDERLAIN WITH FILTER FABRIC AND IN ACCORDANCE WITH THE ILLINOIS URBAN MANUAL, OR OTHER APPROPRIATE MEASURES) AS APPROVED BY THE ENFORCEMENT OFFICER, SHALL BE INSTALLED AT ANY POINT WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE. SEDIMENT OR SOIL REACHING AN IMPROVED PUBLIC RIGHT-OF-WAY, STREET, ALLEY OR PARKING AREA SHALL BE REMOVED BY SCRAPING OR STREET CLEANING AS ACCUMULATIONS WARRANT AND TRANSPORTED TO A CONTROLLED SEDIMENT DISPOSAL AREA.
- E. TEMPORARY DIVERSIONS SHALL BE CONSTRUCTED AS NECESSARY TO DIRECT ALL RUNOFF FROM HYDROLOGICALLY DISTURBED AREAS TO AN APPROPRIATE SEDIMENT TRAP OR BASIN.
- F. DISTURBED AREAS SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITHIN SEVEN (7) CALENDAR DAYS FOLLOWING THE END OF ACTIVE HYDROLOGIC DISTURBANCE OR REDISTURBANCE.
- G. ALL STOCKPILES SHALL HAVE APPROPRIATE MEASURES TO PREVENT EROSION. STOCKPILES SHALL NOT BE PLACED IN FLOOD PRONE AREAS OR WETLANDS AND DESIGNATED BUFFERS.
- H. SLOPES STEEPER THAN 3H:1V SHALL BE STABILIZED WITH APPROPRIATE MEASURES AS APPROVED BY THE ENFORCEMENT OFFICER.
- I. APPROPRIATE EROSION CONTROL BLANKET SHALL BE INSTALLED ON ALL INTERIOR DETENTION BASIN SIDE SLOPES BETWEEN THE NORMAL WATER LEVEL AND HIGH WATER LEVEL.
- J. STORM SEWERS THAT ARE OR WILL BE FUNCTIONING DURING CONSTRUCTION SHALL BE PROTECTED BY AN APPROPRIATE SEDIMENT CONTROL MEASURE.
- K. IF DEWATERING SERVICES ARE USED, ADJOINING PROPERTIES AND DISCHARGE LOCATIONS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION. DISCHARGES SHALL BE ROUTED THROUGH AN APPROVED ANIONIC POLYMER DEWATERING SYSTEM OR A SIMILAR MEASURE AS APPROVED BY THE ENFORCEMENT OFFICER. DEWATERING SYSTEMS SHOULD BE INSPECTED DAILY DURING OPERATIONAL PERIODS. THE ENFORCEMENT OFFICER, OR APPROVED REPRESENTATIVE, MUST BE PRESENT AT THE COMMENCEMENT OF DEWATERING ACTIVITIES.
- L. IF INSTALLED SOIL EROSION AND SEDIMENT CONTROL MEASURES DO NOT MINIMIZE SEDIMENT LEAVING THE DEVELOPMENT SITE, ADDITIONAL MEASURES SUCH AS ANIONIC POLYMERS OR FILTRATION SYSTEMS MAY BE REQUIRED BY THE ENFORCEMENT OFFICER.
- M. ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES MUST BE MAINTAINED AND REPAIRED AS NEEDED. THE PROPERTY OWNER SHALL BE ULTIMATELY RESPONSIBLE FOR MAINTENANCE AND REPAIR.
- N. ALL TEMPORARY SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
- O. THE EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL MEASURES MAY BE REQUIRED, AS DIRECTED BY THE ENGINEER, ENFORCEMENT OFFICER, OR OTHER GOVERNING AGENCY.

U:\Regulatory Program\SESC handouts\SE-SC Notes 2013 TAC-approved.docx

NOTE: ADA PARKING STALLS SHALL NOT EXCEED A MAXIMUM SLOPE OF 2.0% IN ALL DIRECTIONS

NOTE: ADA WALKS SHALL COMPLY w/ ADA SLOPE REQUIREMENTS:
(Max. Running Slope=5% & Max. Cross Slope=2%)

LEGEND

EXISTING PROPOSED

Combined Sewer
Sanitary Sewer
Storm Sewer

Storm Sewer
(Abandoned In Place)

Sanitary Manhole
Storm Manhole
Catch Basin
Inlet
Down Spout
Water Main & Services
Valve & Vault
Pressure Connection
Valve & Box
Fire Hydrant
Structure to be Abandoned

Power Pole

Pavement or Ground

Contour

Drainage Arrow

Neenah Fram & Lid No.

Structure Size "i.d"

Type

Structure No.

1-A (48") R-1772-B

Rim Elevation

Invert Elevation

PROPOSED DEVELOPMENT
GRASS LAKE RD./DEEP LAKE RD.
LAKE VILLA, IL



LOCATION MAP
(N.T.S.)

SITE BENCHMARK

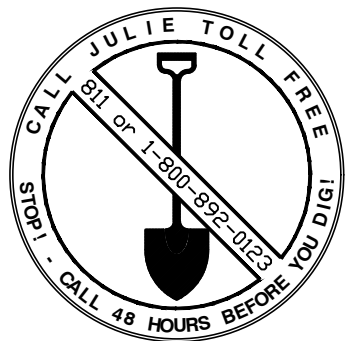
—BENCHMARK #1—

NORTHWEST FLANGE BOLT OF FIRE HYDRANT LOCATED IN THE EASTERN PARKWAY OF TOWER ROAD.
LOCATED APPROXIMATELY 2.5 FEET EAST OF THE BACK OF CURB APPROXIMATELY 100 FEET NORTH & 50 FEET WEST OF THE PROJECT'S SOUTHWEST PROPERTY CORNER.

—ELEVATION— 807.08 (NAVD 88 datum)

SHEET INDEX

- C-1.0 TITLE & NOTES SHEET
C-2.0 EXISTING TOPOGRAPHY & DEMOLITION PLAN
C-3.0 SITE PLAN
C-4.0 UTILITY PLAN
C-5.0 GRADING PLAN
C-6.0 STORMWATER POLLUTION PREVENTION PLAN
C-7.0 DETAIL SHEET
C-7.1 DETAIL SHEET
C-7.2 DETAIL SHEET
L-1.0 LANDSCAPE PLAN

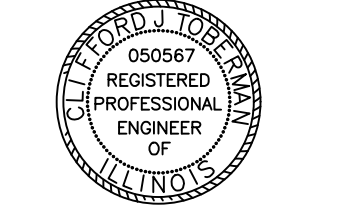


NO.	DATE	REVISION
1	05-09-24	Initial Submit Per 801 Tower Drive - Plan Review #1 (04-20-24) Per 801 Tower Drive - Engineering Review (04-19-24) Per PID Amendment Memorandum (04-18-24)

NORMAN J. TOBERMAN & ASSOCIATES, LLC
CIVIL ENGINEERS & SURVEYORS
115 S. WILSON AVE.
P. (847) 338-2225 F. (847) 738-4114
mail@toberman.us
IL Design Firm: 184,005910
Expires: 4-30-2025

TITLE & NOTES SHEET
PROPOSED DEVELOPMENT
DEEP LAKE RD. / GRASS LAKE RD.
LAKE VILLA, IL

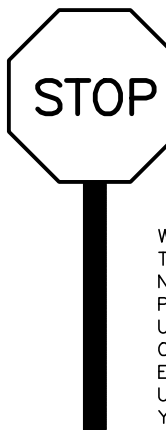
THIS SEAL IS VOID IF NON-PRINTED
CHANGES APPEAR ON THESE PLANS



EXPIRES 11-30-2025

DATE 03/09/24
DRAWN BY: CJT/SF
DESIGN BY: CJT/SF
APPROVED BY: CJT

Sheet No.
C-1.0
NJT Project No.
24-7543

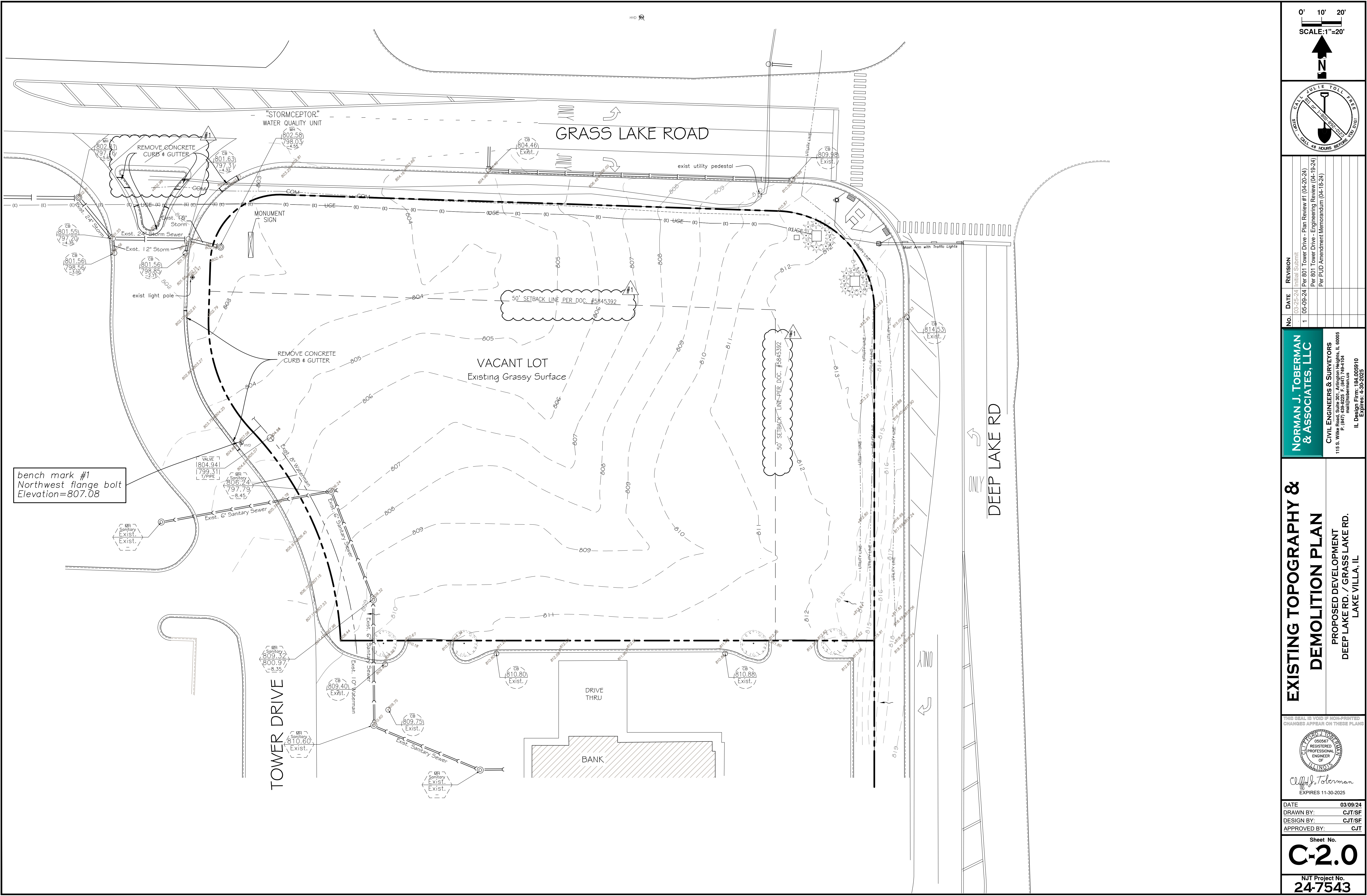


Know what's below
Call before you dig.

CALL JULIE
48 HOURS BEFORE YOU DIG.
811 OR 1-800-892-0123

WHETHER YOU'RE DIGGING A FOUNDATION OR JUST PLANTING A TREE, MAKE SURE YOU CALL JULIE FIRST. JULIE IS A FREE NOTIFICATION SERVICE THAT ALERTS UTILITY COMPANIES OF PLANNED DIGGING ACTIVITIES IN AREAS WITH UNDERGROUND UTILITY FACILITIES. UNDERGROUND FACILITIES CAN BE DAMAGED OR RUPTURED BY A SHOVEL BLADE OR OTHER DIGGING EQUIPMENT. AVOID THE PAIN AND COST OF DAMAGING BURIED UTILITIES. CALL BEFORE YOU DIG. STATE LAW NOW REQUIRES YOU TO CALL JULIE TWO WORKING DAYS BEFORE YOU DIG.





0' 10' 20'
SCALE: 1"=20'

N

CALL 48 HOURS BEFORE
TOLL FREE
CALIFORNIA TOLL FREE

NO.	DATE	REVISION
1	03-25-24	Initial Submit
	10-09-24	Per 801 Tower Drive - Plan Review #1 (04-20-24)
		Per 801 Tower Drive - Engineering Review (04-19-24)
		Per PUD Amendment Memorandum (04-18-24)

NORMAN J. TOBERMAN & ASSOCIATES, LLC

CIVIL ENGINEERS & SURVEYORS

115 S. Wile Road, Suite 201, Arlington Heights, IL 60005
774-477-1147 / mail@toberman.us
IL Design Firm: 184.005910
Expires: 4-30-2025

EXISTING TOPOGRAPHY & DEMOLITION PLAN

PROPOSED DEVELOPMENT
DEEP LAKE RD. / GRASS LAKE RD.
LAKE VILLA, IL

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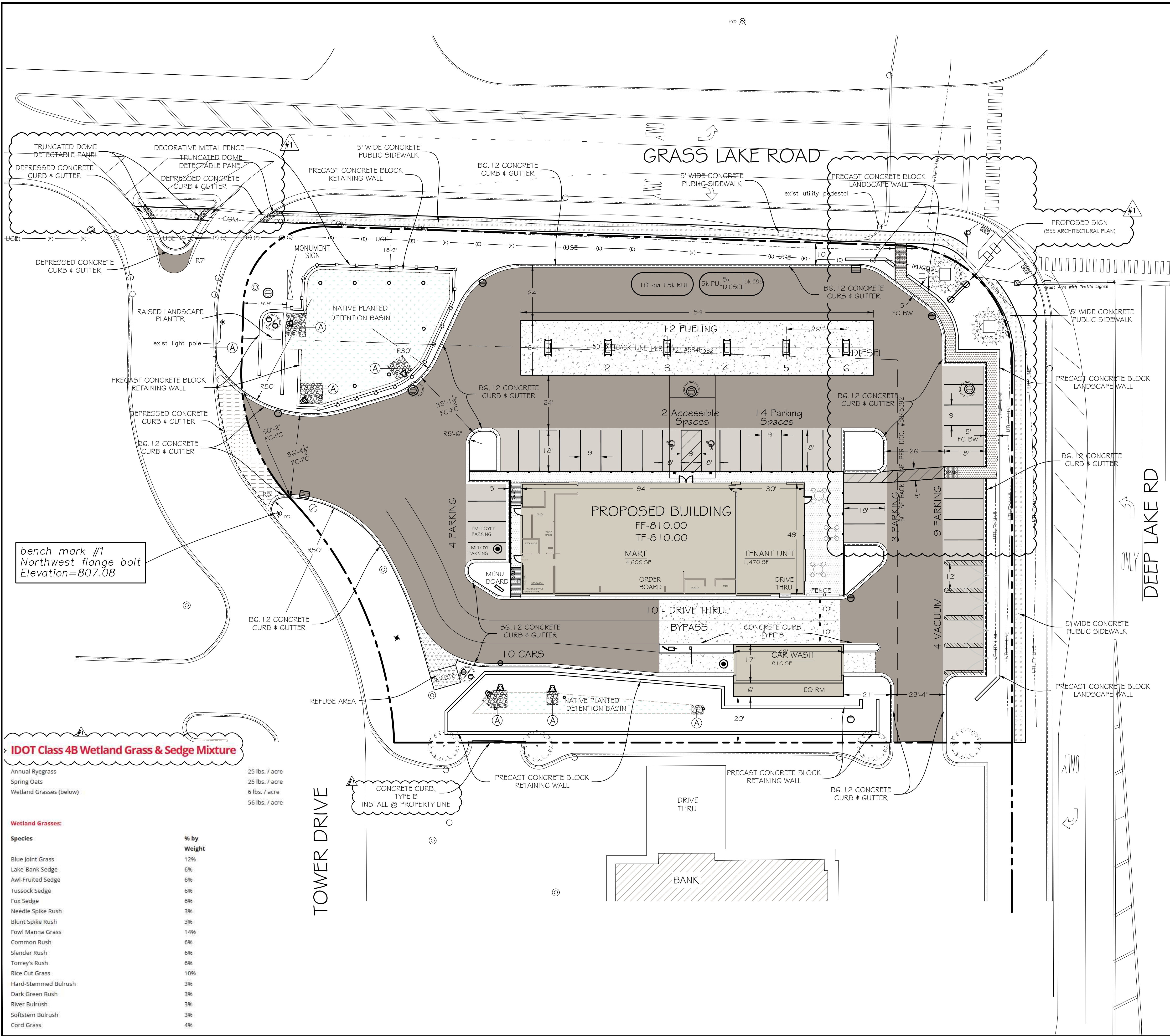
050567
REGISTERED
PROFESSIONAL
ENGINEER
OF
ILLINOIS

Cliff J. Toberman
EXPIRES 11-30-2025

DATE: 03/09/24
DRAWN BY: CJT/SF
DESIGN BY: CJT/SF
APPROVED BY: CJT

Sheet No.
C-2.0

NJT Project No.
24-7543



PARKING DATA:

ACCESSIBLE STALLS: 2
9' STALLS: 34
⊙ FUELING PUMPS: 12
TOTAL STALLS PROVIDED: 48

PAVING LEGEND

COMMERCIAL APRON
8" P.C.C. APRON
6" COMPACTED CA-6 SUBBASE

CONCRETE PARKING LOT PAVEMENT
6" P.C.C. PAVEMENT
6" COMPACTED CA-6 SUBBASE
****ALTERNATE****
HEAVY DUTY ASPHALT PAVEMENT
2" H.M.A. SURFACE COURSE
3" H.M.A. BINDER COURSE
12" COMPACTED AGGREGATE BASE, CA-6 GRADATION

CONCRETE PARKING LOT PAVEMENT
6" P.C.C. PAVEMENT
6" COMPACTED CA-6 SUBBASE
****ALTERNATE****
STANDARD ASPHALT PAVEMENT
1-3/4" H.M.A. SURFACE COURSE
2-1/4" H.M.A. BINDER COURSE
10" COMPACTED AGGREGATE BASE, CA-6 GRADATION

CONCRETE PAVEMENT
6" P.C.C. PAVEMENT
6" COMPACTED CA-6 SUBBASE

CONCRETE SIDEWALK/COMBINATION CURB/WALK
5" P.C.C. PAVEMENT
4" COMPACTED CA-6 SUBBASE

CONCRETE PUBLIC SIDEWALK
5" P.C.C. PAVEMENT
4" COMPACTED CA-6 SUBBASE

CONCRETE TRASH ENCLOSURE PAD/APRON
6" P.C.C. PAVEMENT w/ THICKENED EDGES
6"x6"x6 GA. W.W.M.
6" COMPACTED CA-6 SUBBASE

SURFACE LEGEND

6" TOPSOIL AND SOD, ALL DISTURBED PARKWAY LAWN AREAS
LANDSCAPE PLAN TO DICTATE PLANTING AREAS & MATERIALS
4" TOPSOIL AND SEED, ALL DISTURBED ON-SITE LAWN AREAS
LANDSCAPE PLAN TO DICTATE PLANTING AREAS & MATERIALS

**STONE RIP-RAP, PER PLAN
12" DEPTH**

NATIVE PLANTED DETENTION BASIN
IDOT CLASS 4B WETLAND GRASS & SEDGE MIXTURE
12" SOIL MATRIX
(SEE TYPICAL SECTION DETAIL)

STRIPING LEGEND

4" PARKING STALL, LANE LINE, CROSSWALK, DIAGONAL STRIPING,
WHITE THERMOPLASTIC with GLASS BEADS
ADA PARKING STALLS PER CURRENT STATE OF ILLINOIS ACCESSIBLE
PARKING STANDARDS,
THERMOPLASTIC MARKINGS with GLASS BEADS

bench mark #1
Northwest flange bolt
Elevation=807.08

IDOT Class 4B Wetland Grass & Sedge Mixture

Annual Ryegrass	25 lbs. / acre
Spring Oats	25 lbs. / acre
Wetland Grasses (below)	6 lbs. / acre
	56 lbs. / acre

Wetland Grasses:	% by Weight
Species	
Blue Joint Grass	12%
Lake-Bank Sedge	6%
Awl-Fruited Sedge	6%
Tussock Sedge	6%
Fox Sedge	6%
Needle Spike Rush	3%
Blunt Spike Rush	3%
Fowl Manna Grass	14%
Common Rush	6%
Slender Rush	6%
Torrey's Rush	6%
Rice Cut Grass	10%
Hard-Stemmed Bulrush	3%
Dark Green Rush	3%
River Bulrush	3%
Softstem Bulrush	3%
Cord Grass	4%

0' 10' 20'
SCALE:1"=20'

CALL 48 HOURS BEFORE

REVISION
DATE
NO.

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1 05-09-24 Per 801 Tower Drive - Plan Review #1 (04-20-24)
Per 801 Tower Drive - Engineering Review (04-19-24)
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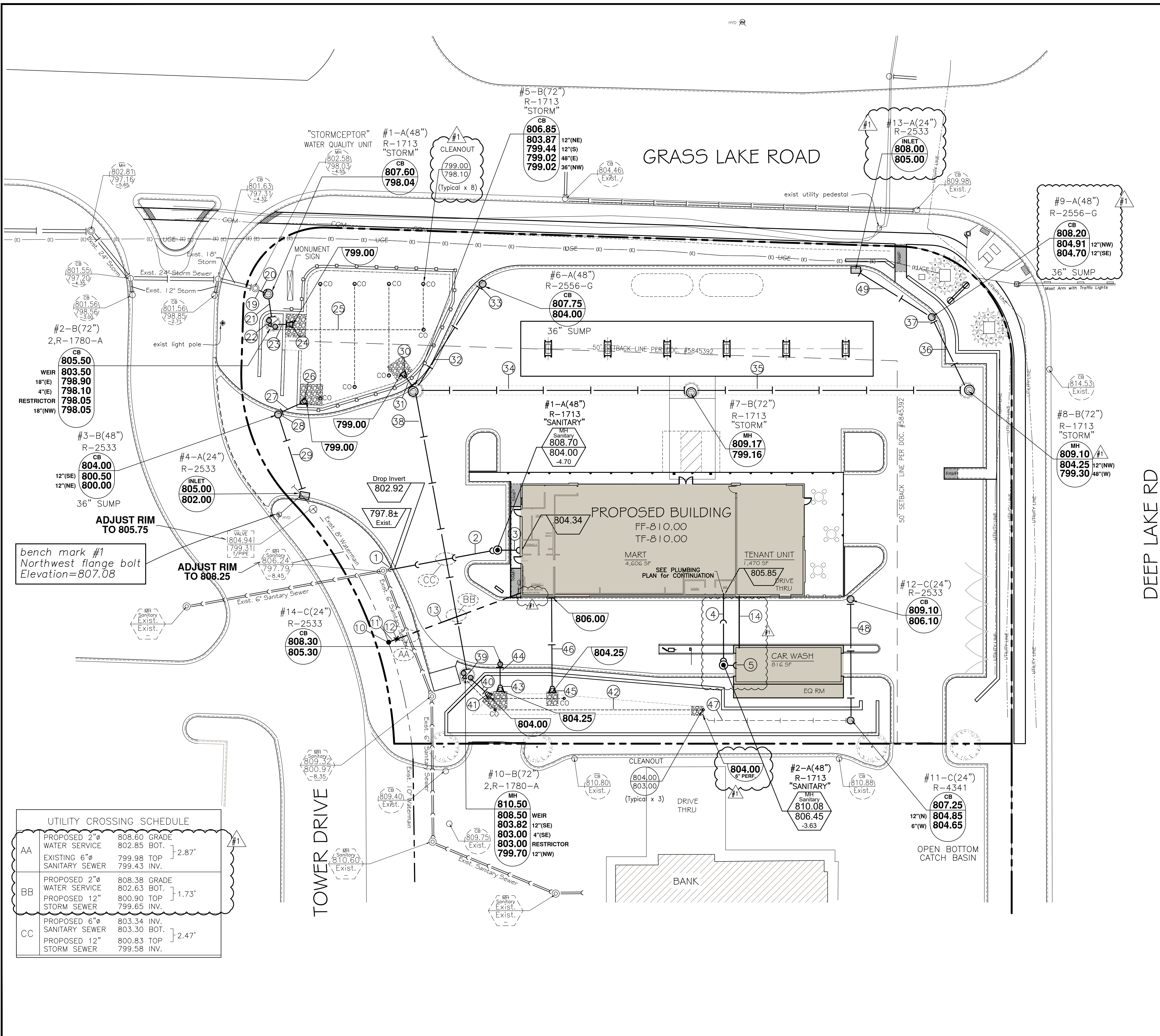
SITE PLAN
PROPOSED DEVELOPMENT
DEEP LAKE RD. / GRASS LAKE RD.
LAKE VILLA, IL

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C-3.0
NJT Project No.
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SANITARY SEWER DATA

- 1 EA. CONNECT TO EXIST. SANITARY MANHOLE & INSTALL EXTERNAL DROP CONNECTION ADJUST STRUCTURE RIM TO 807.50
- 48 L.F. 6" PVC(SDR-26) @ 2.25%
- 15 L.F. 6" DIP(CL-52) @ 2.25%
- 30 L.F. 4" DIP(CL-52) @ 2.00%
- 2 L.F. 4" PVC(SDR-26) @ 2.00% (PROVIDE PVC PLUG FOR FUTURE CONNECTION)

WATER SERVICE DATA

- 1 EA. 2" Ø WATER SERVICE TAP (PER VILLAGE STANDARDS)
- 4 L.F. 2"Ø TYPE K COPPER, MIN. 5'-6" DEPTH
- 1 EA. BUFFALO BOX (VILLAGE STANDARD)
- 58 L.F. 2"Ø TYPE K COPPER, MIN. 5'-6" DEPTH
- 23 L.F. 1"Ø TYPE K COPPER, MIN. 5'-6" DEPTH

STORM SEWER DATA

- 1 EA. CONNECT TO EXISTING "STORMCEPTOR" WATER QUALITY UNIT
- 2 L.F. 18" RCP(CL-IV) @ 0.18%
- 8 L.F. 18" RCP(CL-IV) @ 0.18%
- 1 EA. SITE OUTLET CONTROL STRUCTURE (see detail)
- 2 L.F. 18" RCP(CL-IV) @ 1.25%
- 1 EA. 18" CONCRETE FLARED END SECTION w/ TRASH GRATE
- 220 L.F. 4" PERF. PVC(SDR-35) @ 0% with SOCK
- 1 EA. 12" CONCRETE FLARED END SECTION w/ TRASH GRATE
- 8 L.F. 12" RCP(CL-IV) @ 7.14%
- 1 EA. 18R ENVIROHOOD OIL & DEBRIS STOP (see detail)
- 35 L.F. 12" RCP(CL-IV) @ 4.29%
- 1 EA. 36" CONCRETE FLARED END SECTION w/ TRASH GRATE
- 2 L.F. 36" RCP(CL-IV) @ 0.12%
- 50 L.F. 12" RCP(CL-IV) @ 0.25%
- 1 EA. 18R ENVIROHOOD OIL & DEBRIS STOP (see detail)
- 115 L.F. 48" RCP(CL-IV) @ 0.12%
- 115 L.F. 48" RCP(CL-IV) @ 0.12%
- 31 L.F. 12" RCP(CL-IV) @ 1.45%
- 1 EA. 18R ENVIROHOOD OIL & DEBRIS STOP (see detail)
- 120 L.F. 12" RCP(CL-IV) @ 0.22%
- 1 EA. "SOUTH BASIN" OUTLET CONTROL STRUCTURE (see detail)
- 6 L.F. 12" RCP(CL-IV) @ 0.83%
- 1 EA. 12" CONCRETE FLARED END SECTION w/ TRASH GRATE
- 145 L.F. 4" PERF. PVC(SDR-35) @ 0% with SOCK
- 1 EA. 8" COMPOSITE FLARED END SECTION
- 10 L.F. 8" PVC(SDR-26) @ 10.50%
- 1 EA. 8" COMPOSITE FLARED END SECTION
- 40 L.F. 8" PVC(SDR-26) @ 5.63%
- 65 L.F. 6" PERF. PVC(SDR-35) @ 1.00% with SOCK
- 50 L.F. 10" PVC(SDR-26) @ 2.50%
- 36 L.F. 12" RCP(CL-IV) @ 0.25%

NORTHWEST DETENTION BASIN ELEVATION TABLE:

DESIGN 100 YR. HIGH WATER ELEVATION- 803.50
TOP of SOIL MATRIX- 799.00
4"Ø UNDER DRAIN INVERT- 798.10
BOTTOM of SOIL MATRIX- 798.00

BASIN STORAGE VOLUME:

SURFACE - 15,778 cft.
48"Ø PIPE - 2,890 cft.

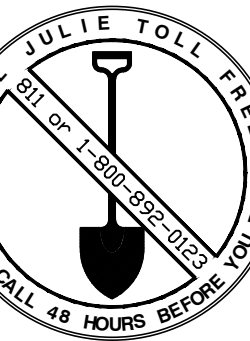
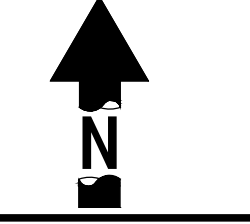
SOUTH DETENTION BASIN ELEVATION TABLE:

DESIGN 100 YR. HIGH WATER ELEVATION- 808.50
TOP of SOIL MATRIX- 804.00
BOTTOM of SOIL MATRIX- 803.00
4"Ø UNDER DRAIN INVERT- 803.00

BASIN STORAGE VOLUME:

SURFACE - 10,160 cft.

0' 10' 20'
SCALE:1"=20'



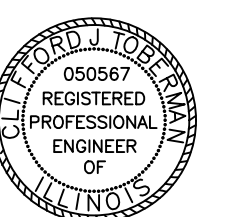
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UTILITY PLAN

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LAKE VILLA, IL

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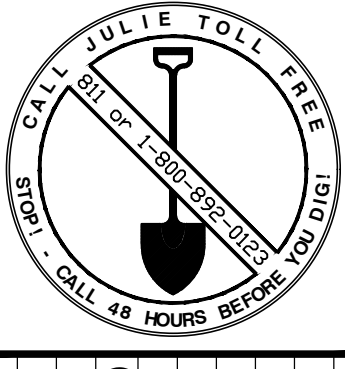
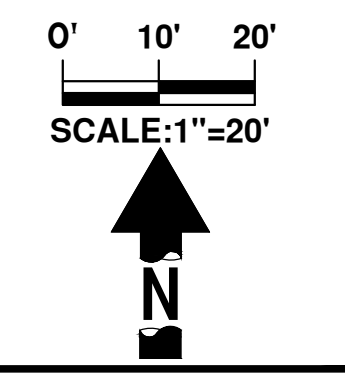
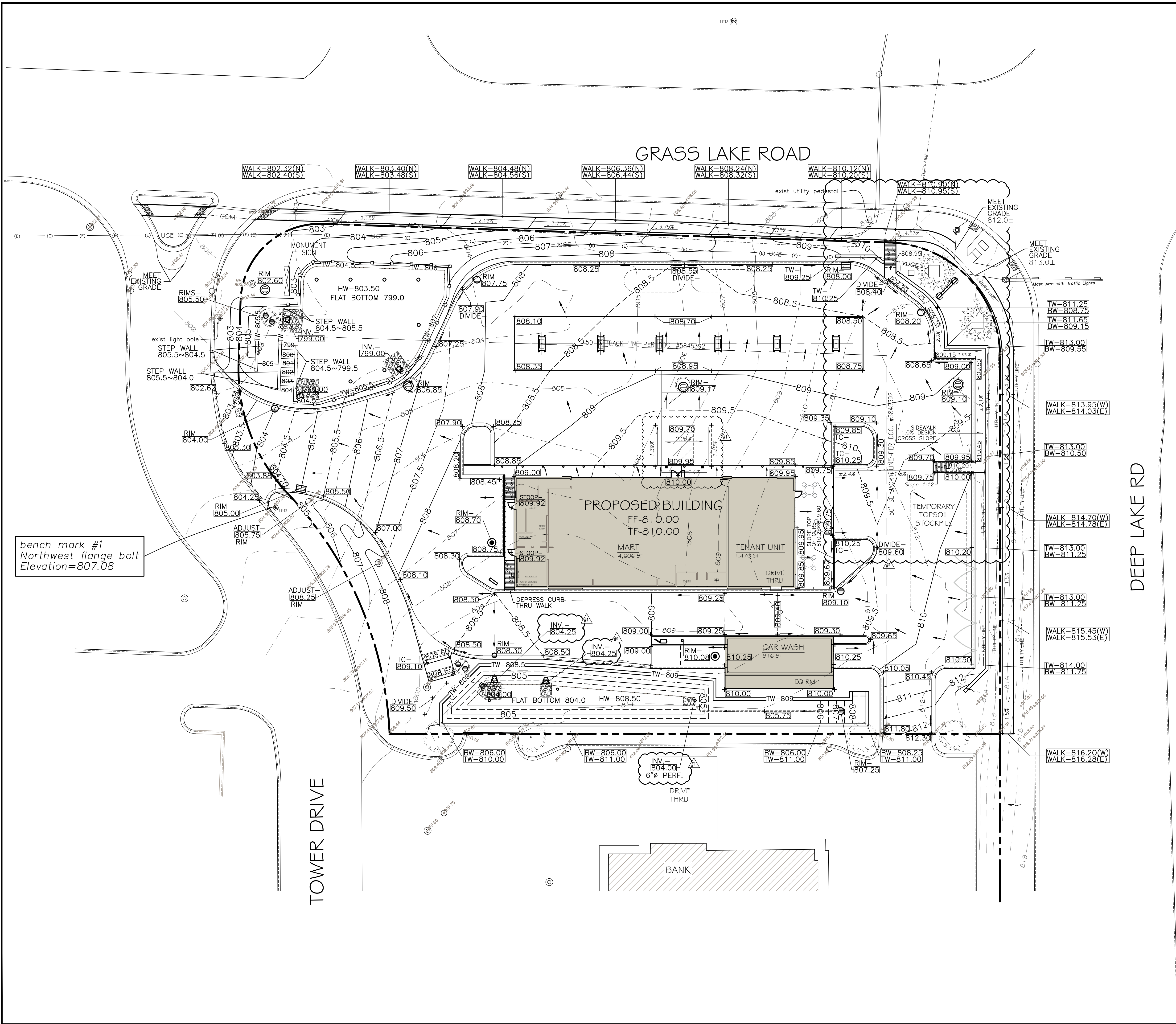
Norman J. Toberman
EXPIRES 11-30-2025

DATE	03/09/24
DRAWN BY:	CJT/SF
DESIGN BY:	CJT/SF
APPROVED BY:	CJT

Sheet No.

C-4.0

NJT Project No.
24-7543

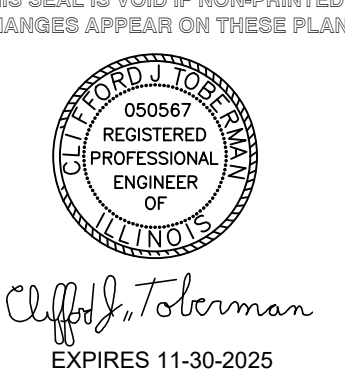


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771-6777 mail@toberman.us
IL Design Firm: 184.005910
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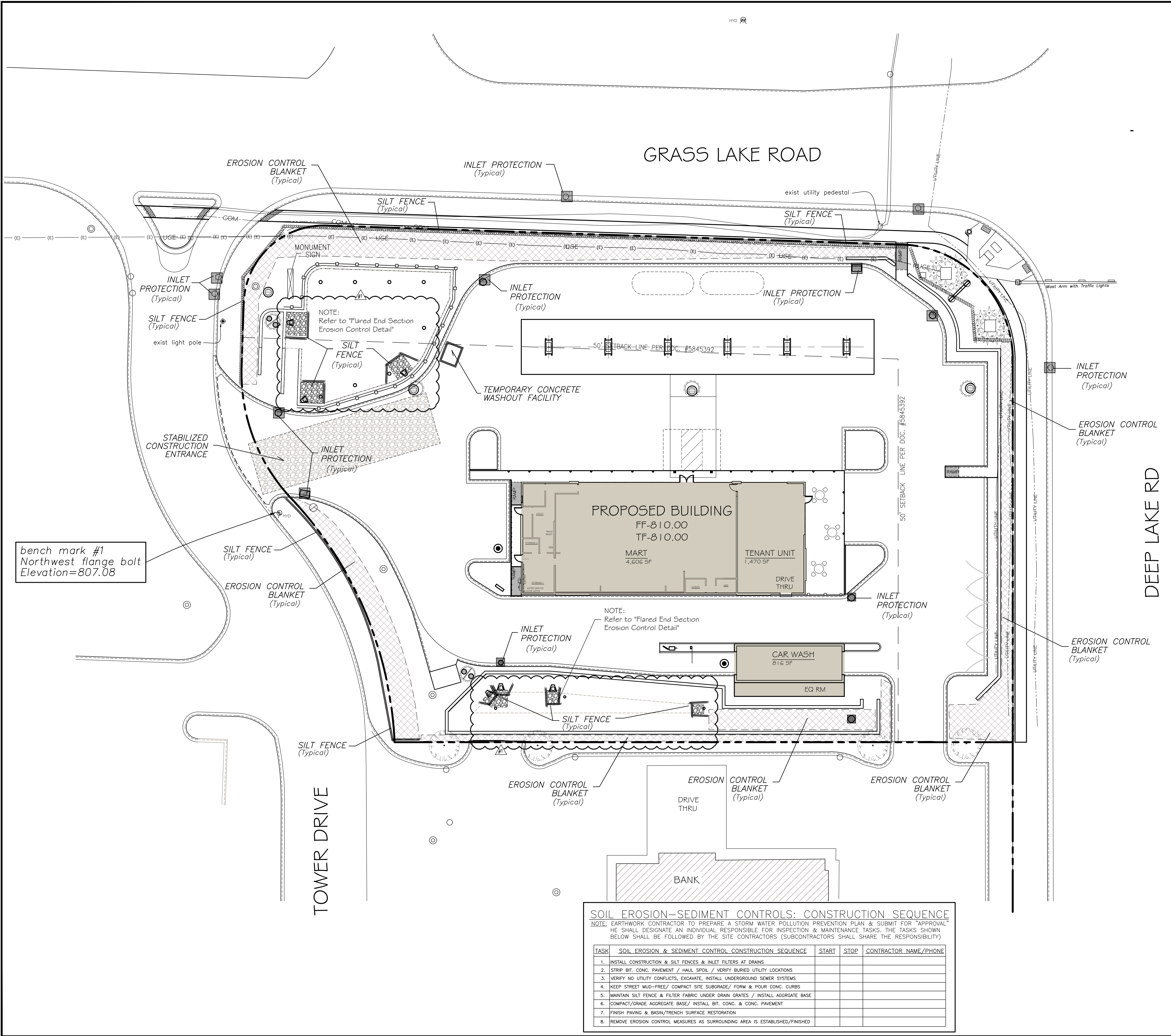
GRADING PLAN
PROPOSED DEVELOPMENT
DEEP LAKE RD. / GRASS LAKE RD.
LAKE VILLA, IL

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DATE: 03/09/24
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C-5.0
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24-7543



LAND DISTURBANCE TASKS

- A. PROVIDE INLET PROTECTION AND SILT FENCE PRIOR TO THE START OF CONSTRUCTION
- B. PROVIDE DIVERSION SWALES AROUND SITE PERIMETER (IF REQ.D BY CITY) AS NEEDED TO PREVENT AND/OR INTERCEPT STORM WATER RUNOFF TO OFFSITE AREAS, AS PART OF MASS GRADING OVER-EXCAVATE NEW TEMPORARY SILT BASIN AROUND EXISTING CATCH BASINS, IF NEEDED. IF APPLICABLE, PROTECT EXISTING CATCH BASIN DRAINS FROM WOOD CHIP/MULCH CLOGGING. IF APPLICABLE, PROVIDE A DIVERSION DITCH OR BERM PER TEMPORARY STOCKPILE DETAIL FOR STOCKPILES PRIOR TO MATERIAL PLACEMENT IF STOCKPILE REMAINS LONGER THAN 14 DAYS.
- C. PROVIDE SILT FENCE AROUND ALL NEW STORM STRUCTURES IMMEDIATELY UPON INSTALLATION OF SAID STRUCTURES.
- D. PROVIDE CLEANING OF THE STORM SEWER SYSTEM, AND SEWER STRUCTURES.
- E. PROVIDE FILTER FABRIC AT ALL EXISTING CURB INLETS ALONG PUBLIC ROADS DURING CONSTRUCTION. FABRIC TO BE PLACED BETWEEN GRATE AND CAST IRON FRAME TO ALLOW MAINTENANCE OR REPLACEMENT OF FABRIC BY REMOVING GRATE WITH FRAME TO REMAIN IN PLACE. FILTER FABRIC SHALL BE MAINTAINED UNTIL ALL "UPSTREAM" AREAS TO A RESPECTIVE INLET HAVE BEEN COMPLETED THROUGH ESTABLISHMENT OF VEGETATIVE COVER.

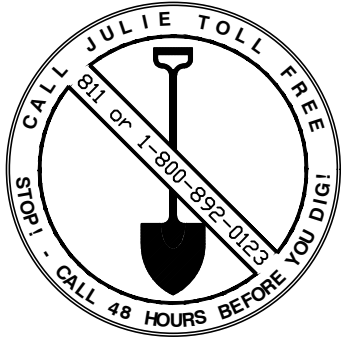
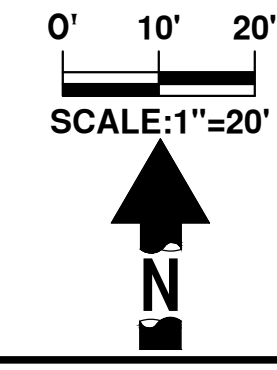
MAINTENANCE & INSPECTION

- 1. DIVERSION AND STRUCTURAL MEASURES - WILL BE INSPECTED AT WEEKLY INTERVALS OR AFTER EVERY RAINSTORM PRODUCING RUNOFF.
- 2. SEDIMENT BASINS - WILL BE CHECKED WEEKLY FOR SEDIMENT ACCUMULATION.
- 3. VEGETATIVE PLANTINGS - SPRING PLANTINGS WILL BE CHECKED DURING SUMMER OR EARLY FALL.
- 4. REPAIRS - ANY EROSION CONTROL MEASURES, STRUCTURAL MEASURES OR OTHER RELATED ITEMS IN NEED OF REPAIR WILL BE MADE WITHIN 7 DAYS.
- 5. RESEEDING - SEEDED AREAS WHERE THE SEED HAS NOT PRODUCED A GOOD COVER WILL BE RESEEDING AND FERTILIZED.

SWPPP NOTES

- ① SEDIMENT AND EROSION CONTROLS SHALL BE FUNCTIONAL BEFORE LAND IS DISTURBED.
- ② STRIPPED AREAS SHALL BE PERMANENTLY OR TEMPORARILY PROTECTED FROM EROSION SHORTLY AFTER FINAL GRADE IS COMPLETED, WEATHER PERMITTING.
- ③ TOPSOIL STOCKPILES IN PLACE MORE THAN 2-WEEKS SHALL BE TEMPORARILY SEEDED.
- ④ SURFACE OR PUMPED GROUND WATER SHALL BE FILTERED BEFORE IT FLOWS OFF-SITE.
- ⑤ CONTRACTOR TO INSTALL TEMPORARY GRAVEL CONSTRUCTION DRIVE TO KEEP ROADS MUD-FREE.
- ⑥ CONTRACTOR TO PERIODICALLY INSPECT & MAINTAIN EROSION & SEDIMENT CONTROLS.
- ⑦ CONTRACTOR TO KEEP "APPROVED" COPY OF EROSION & SEDIMENT CONTROL PLAN ON SITE.
- ⑧ CONTRACTOR SHALL NOT "HAUL" MATERIALS TO JOB, IF IT'S TOO WET TO KEEP STREET CLEAN.
- ⑨ IF INSPECTOR DETERMINES CONDITIONS ARE NOT PER PLAN HE/SHE MAY "STOP" WORK.
- ⑩ SEDIMENT SHALL NOT BE ALLOWED TO ENTER: STORM SEWER, DETENTION BASIN & CATCH BASINS.
- ⑪ STORM STRUCTURES SHALL BE INSPECTED & CLEANED BEFORE PROJECT'S FINAL ACCEPTANCE.

SEE SHEETS C-7.2 & C-7.3 FOR DETAILS



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STORMWATER POLLUTION PREVENTION PLAN

PROPOSED DEVELOPMENT
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LAKE VILLA, IL

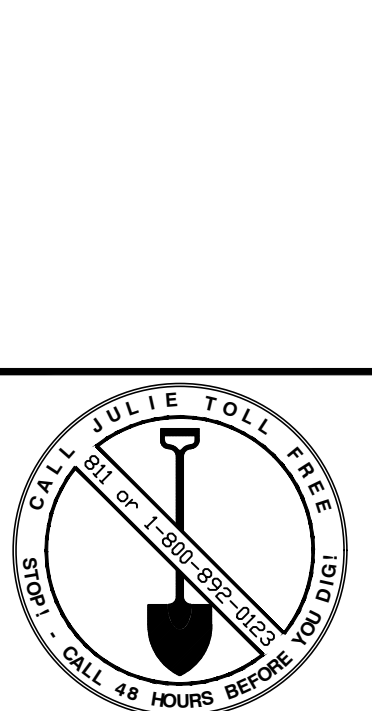
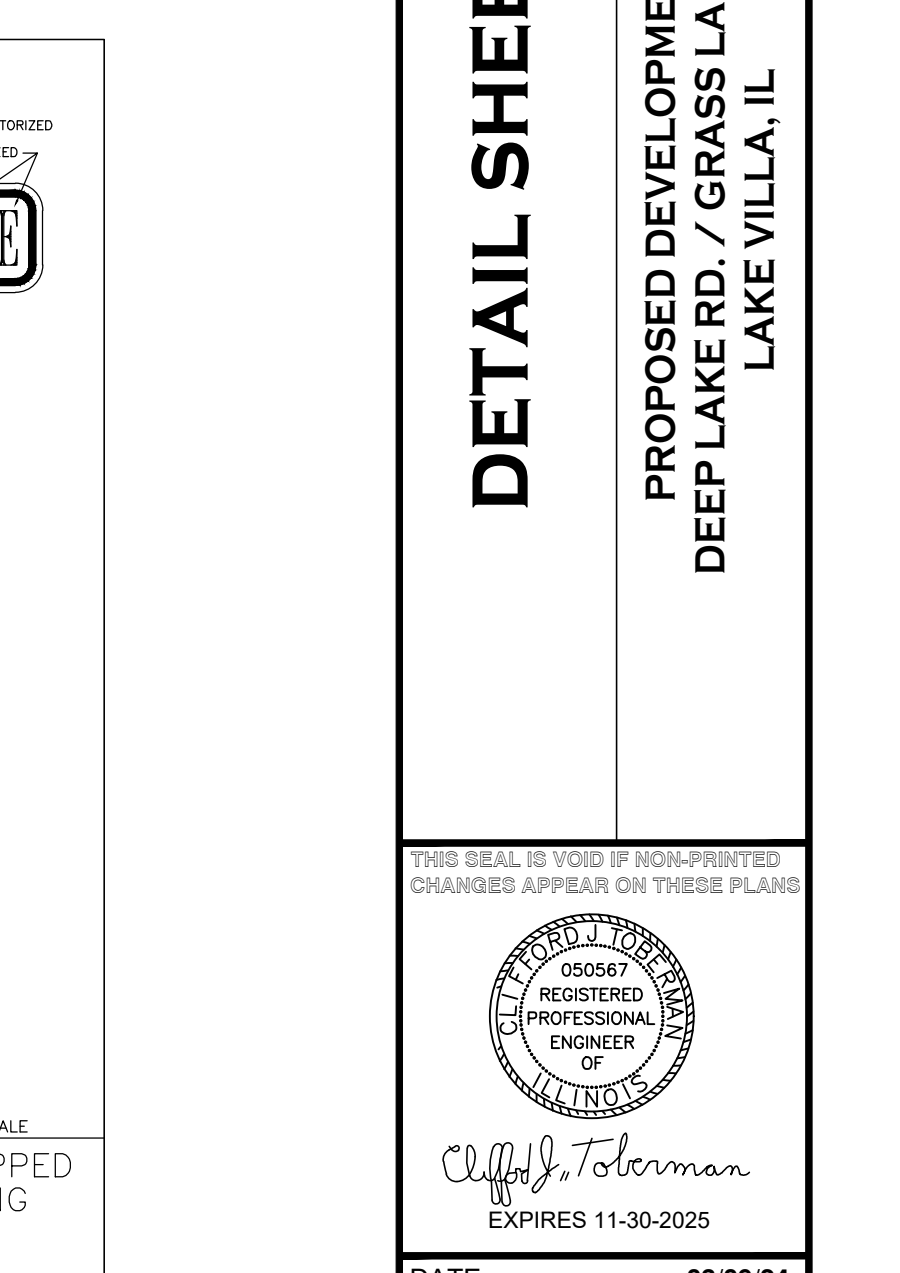
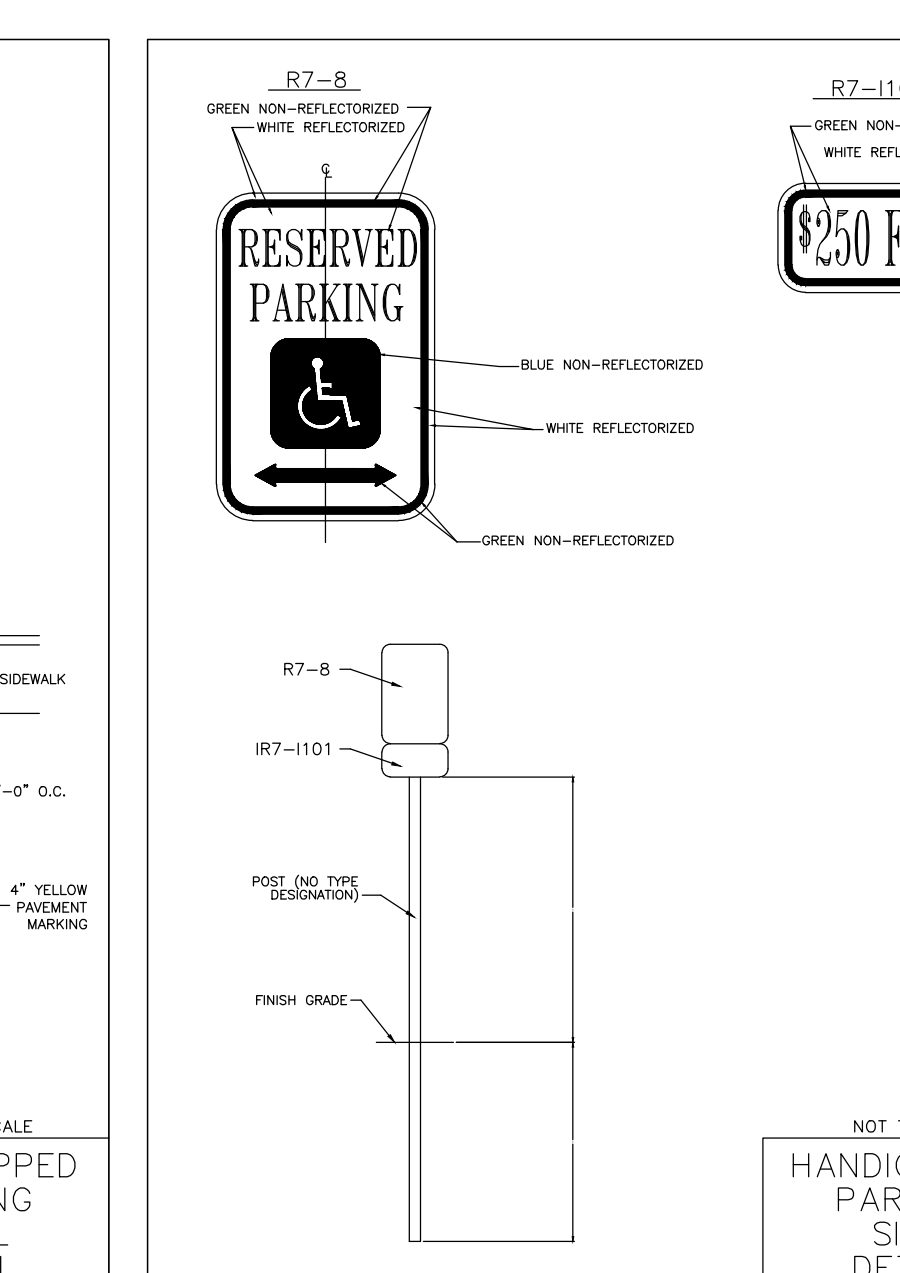
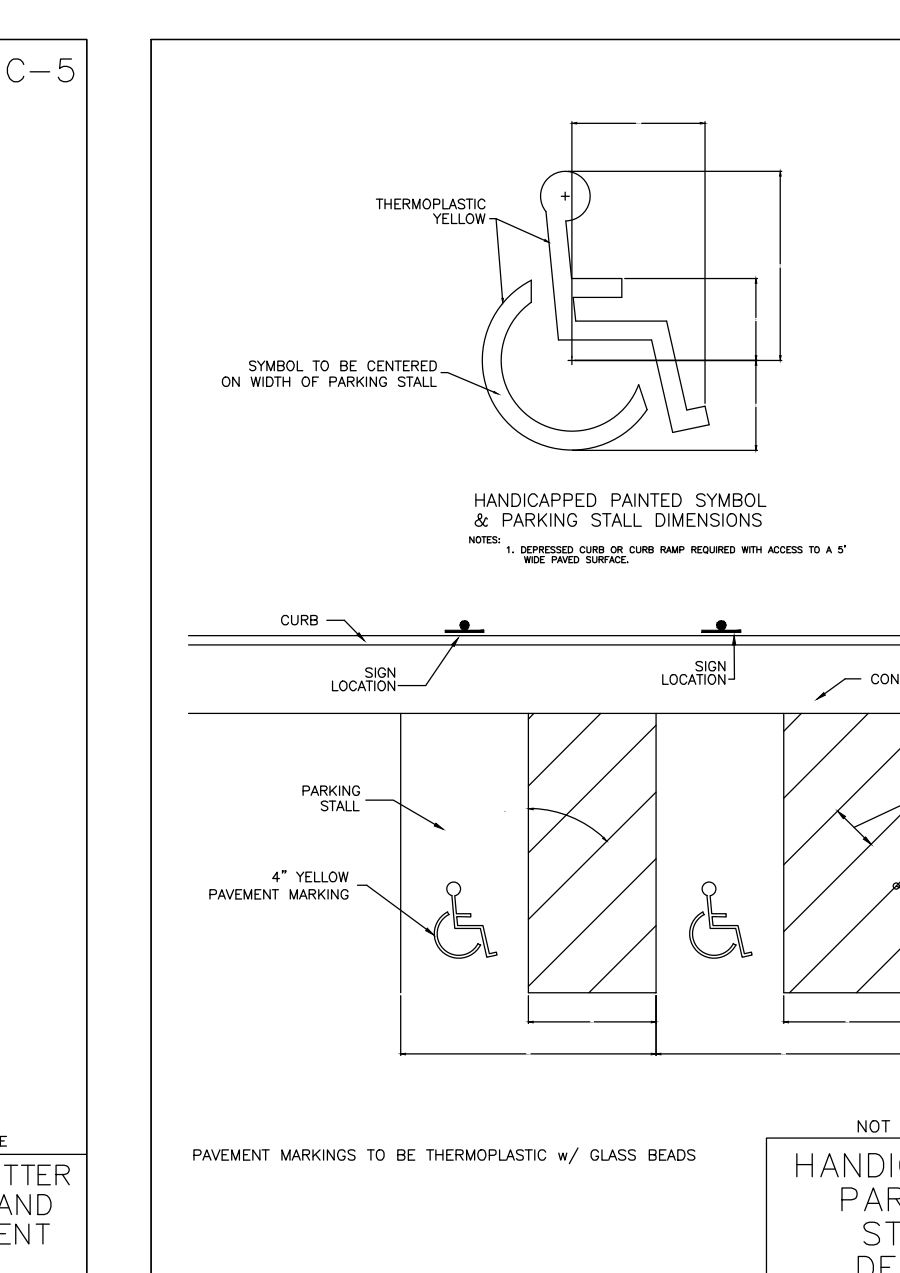
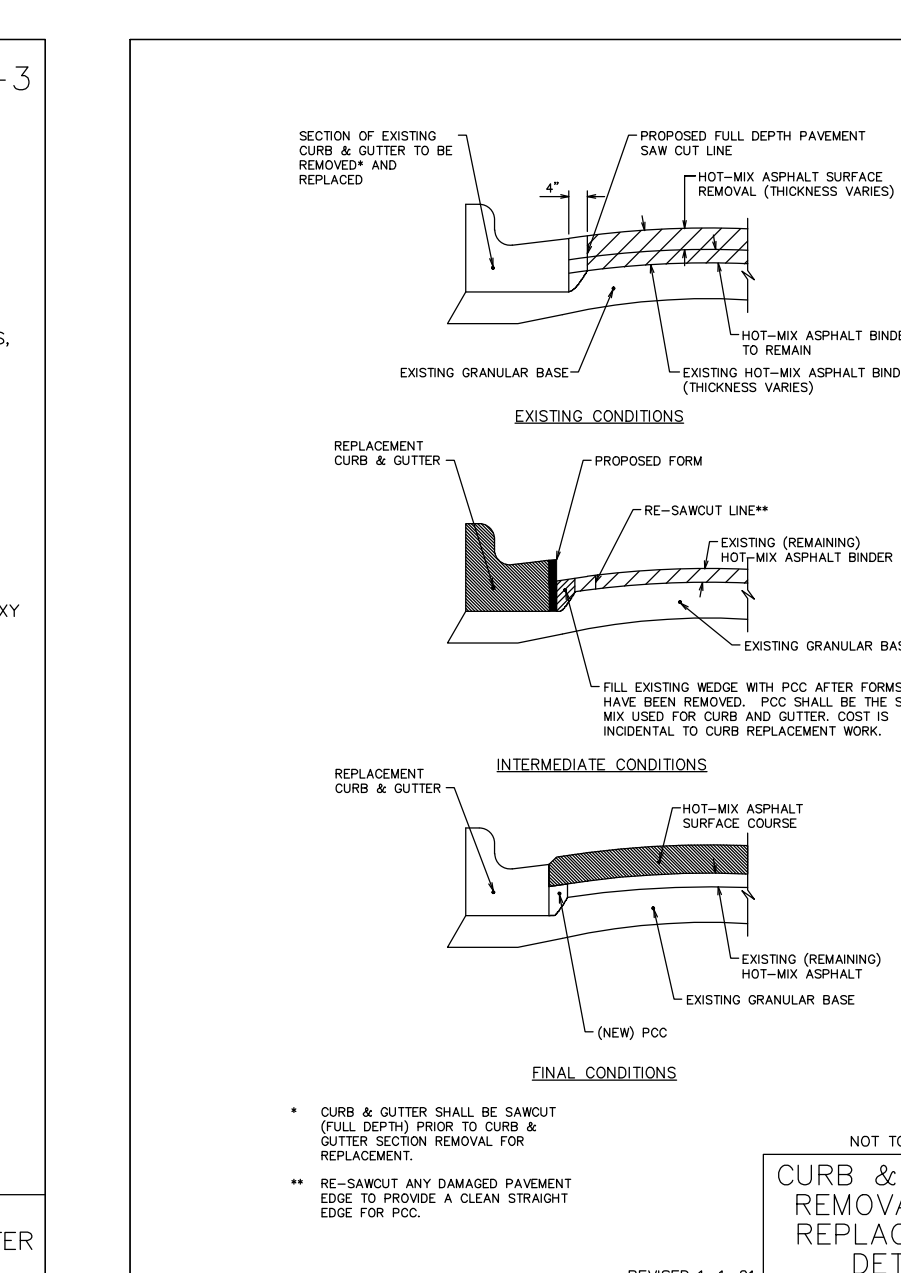
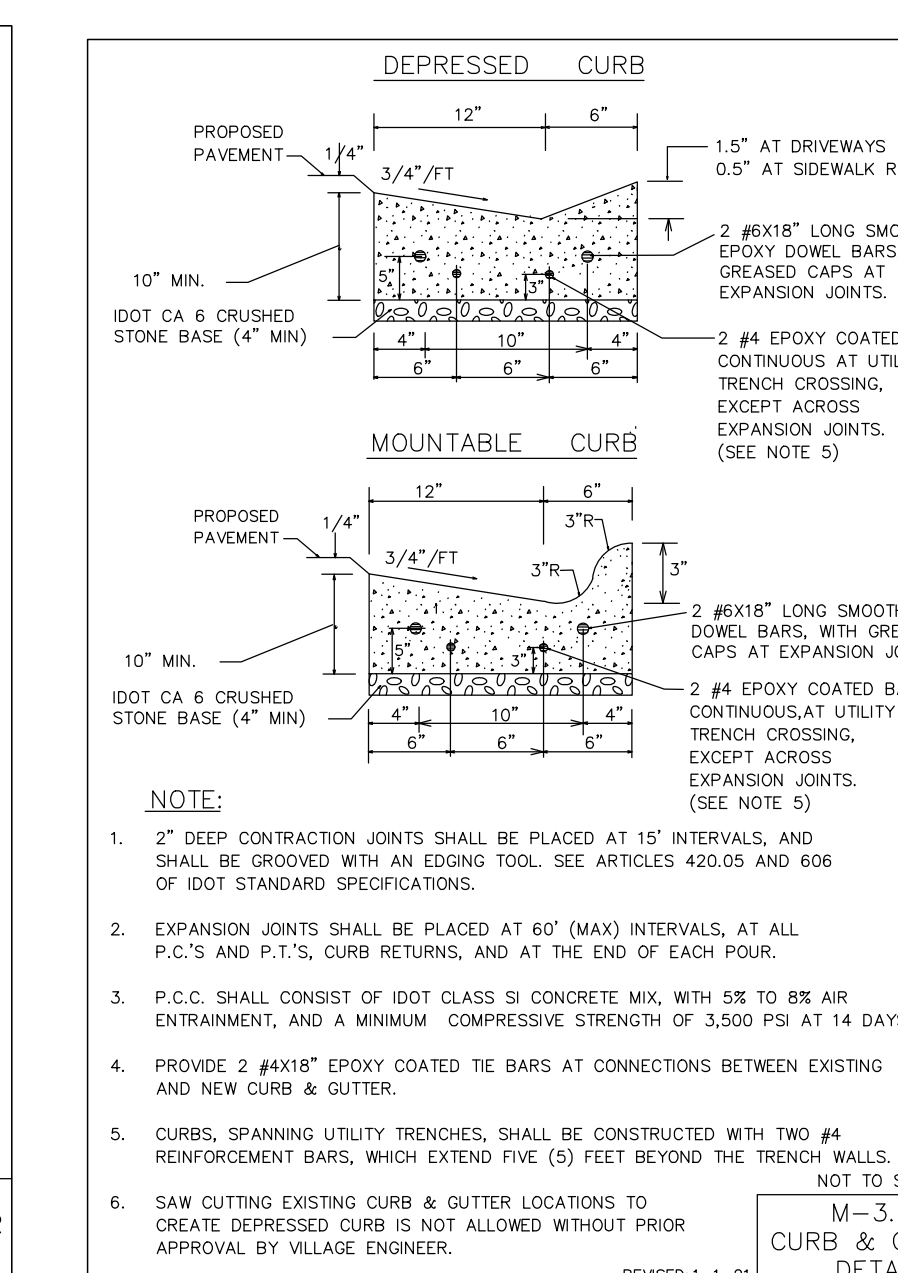
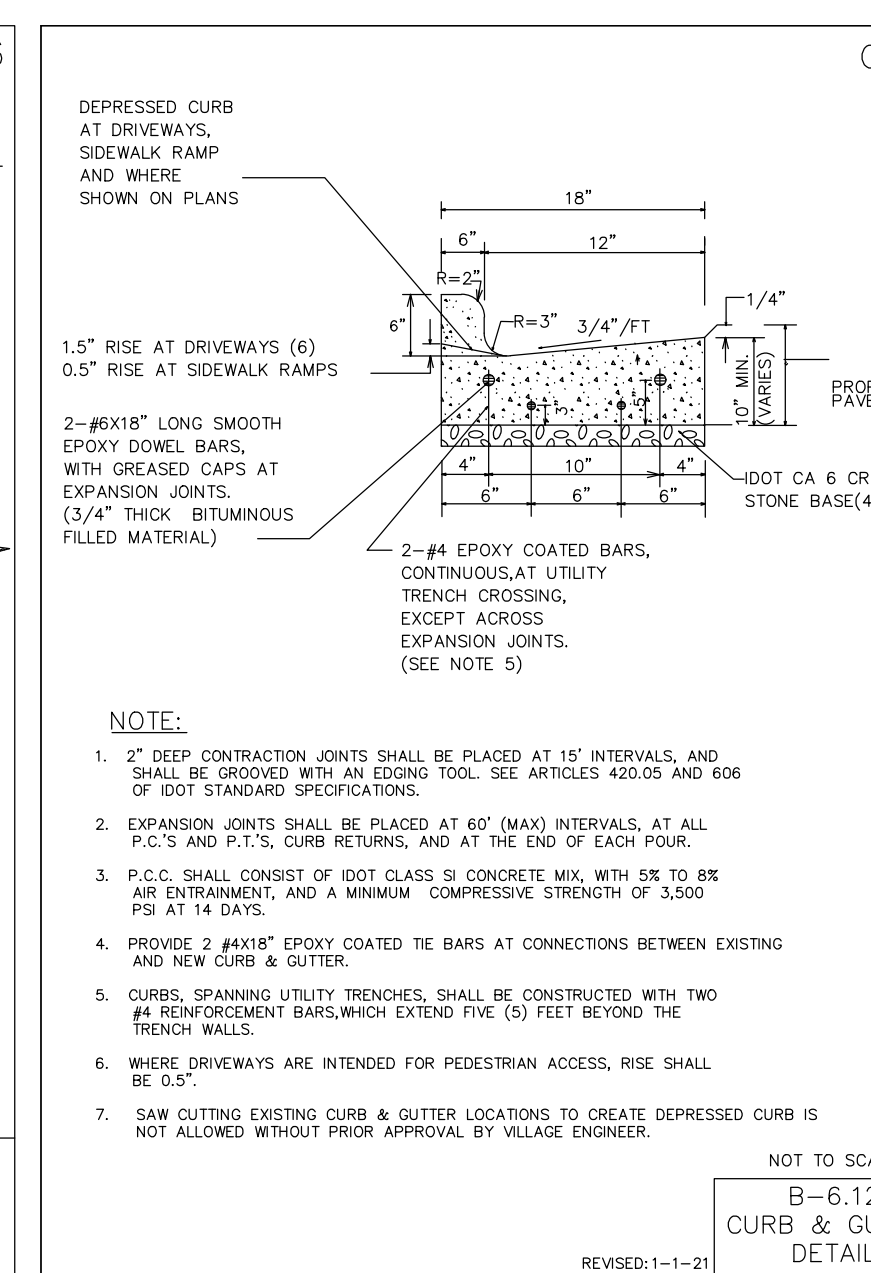
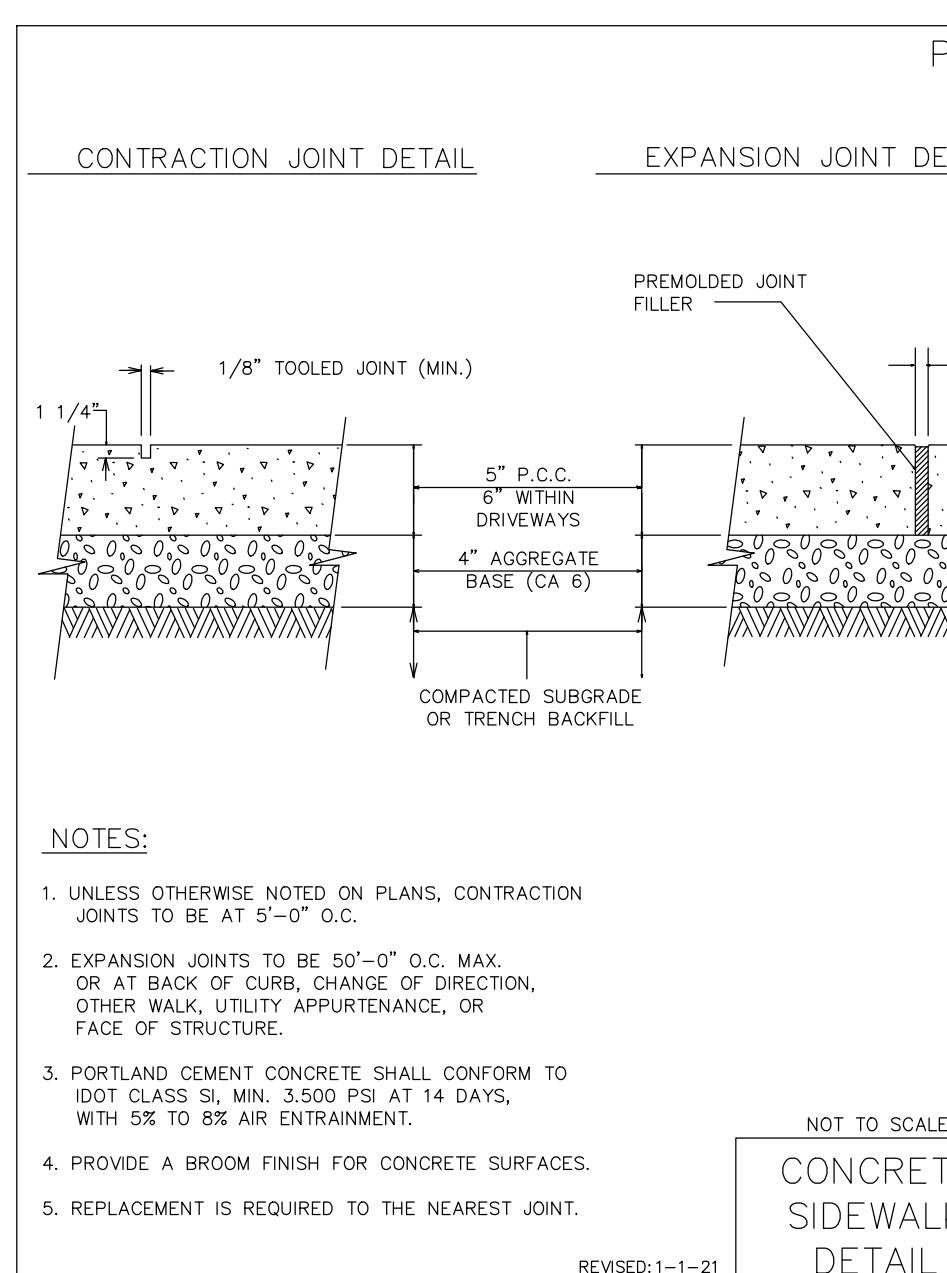
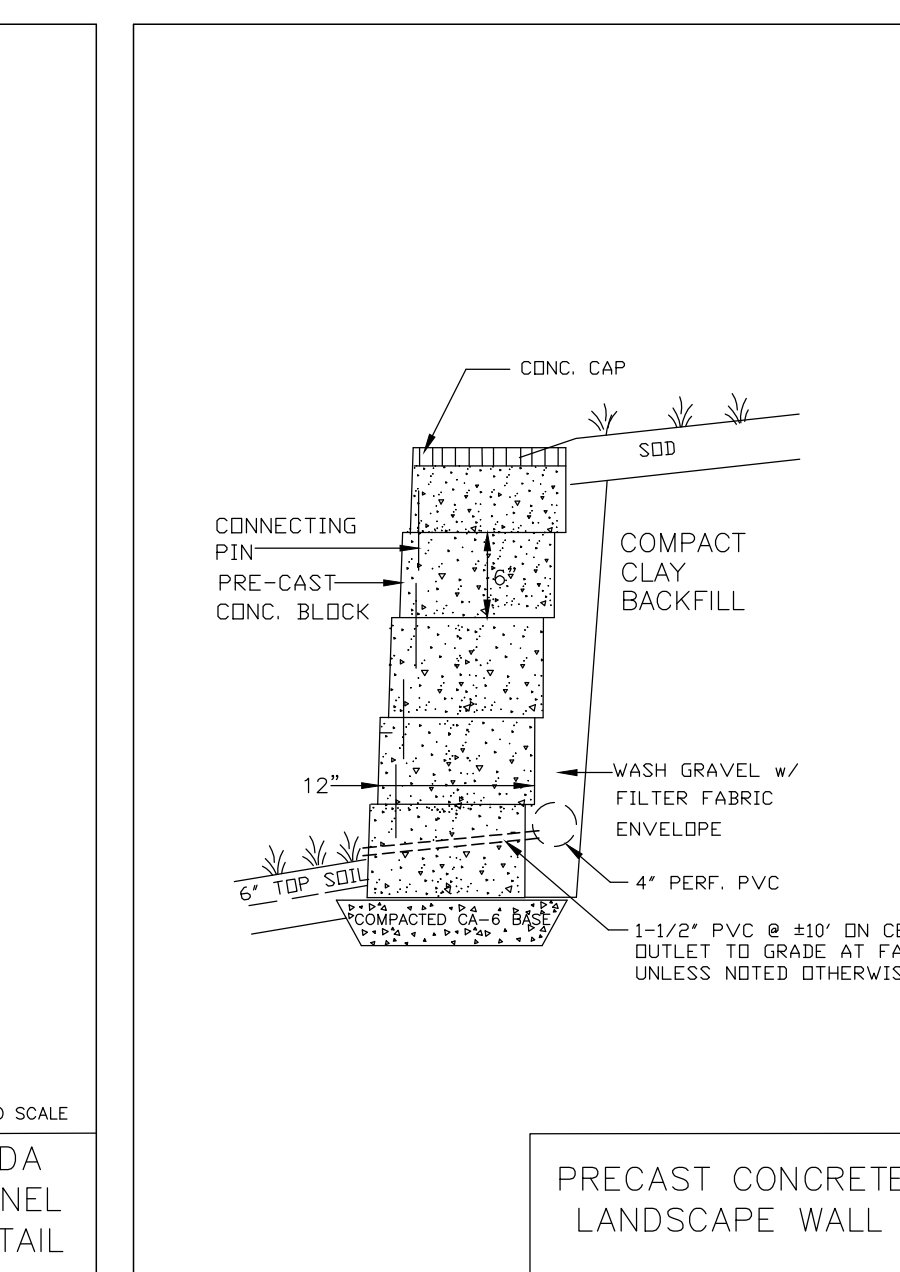
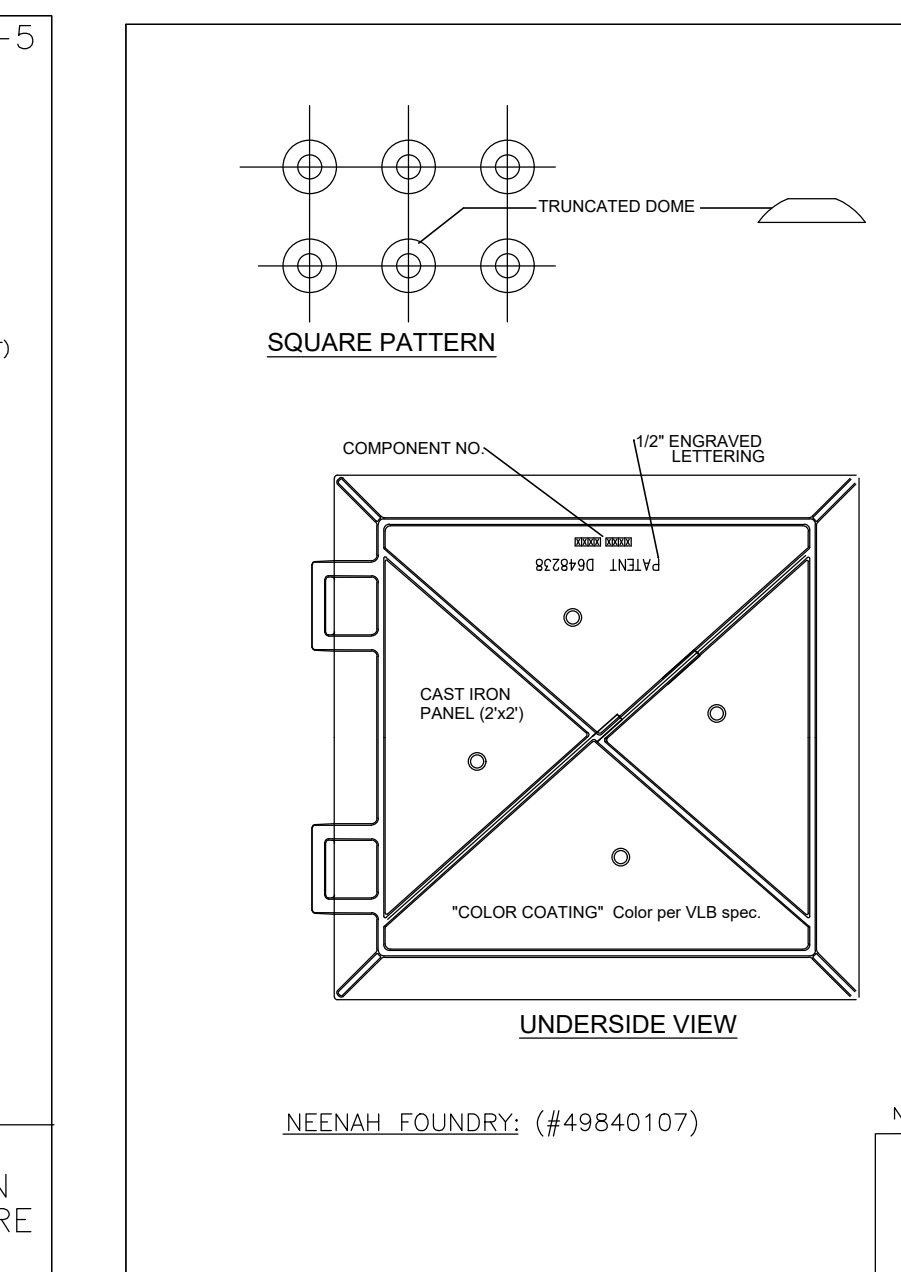
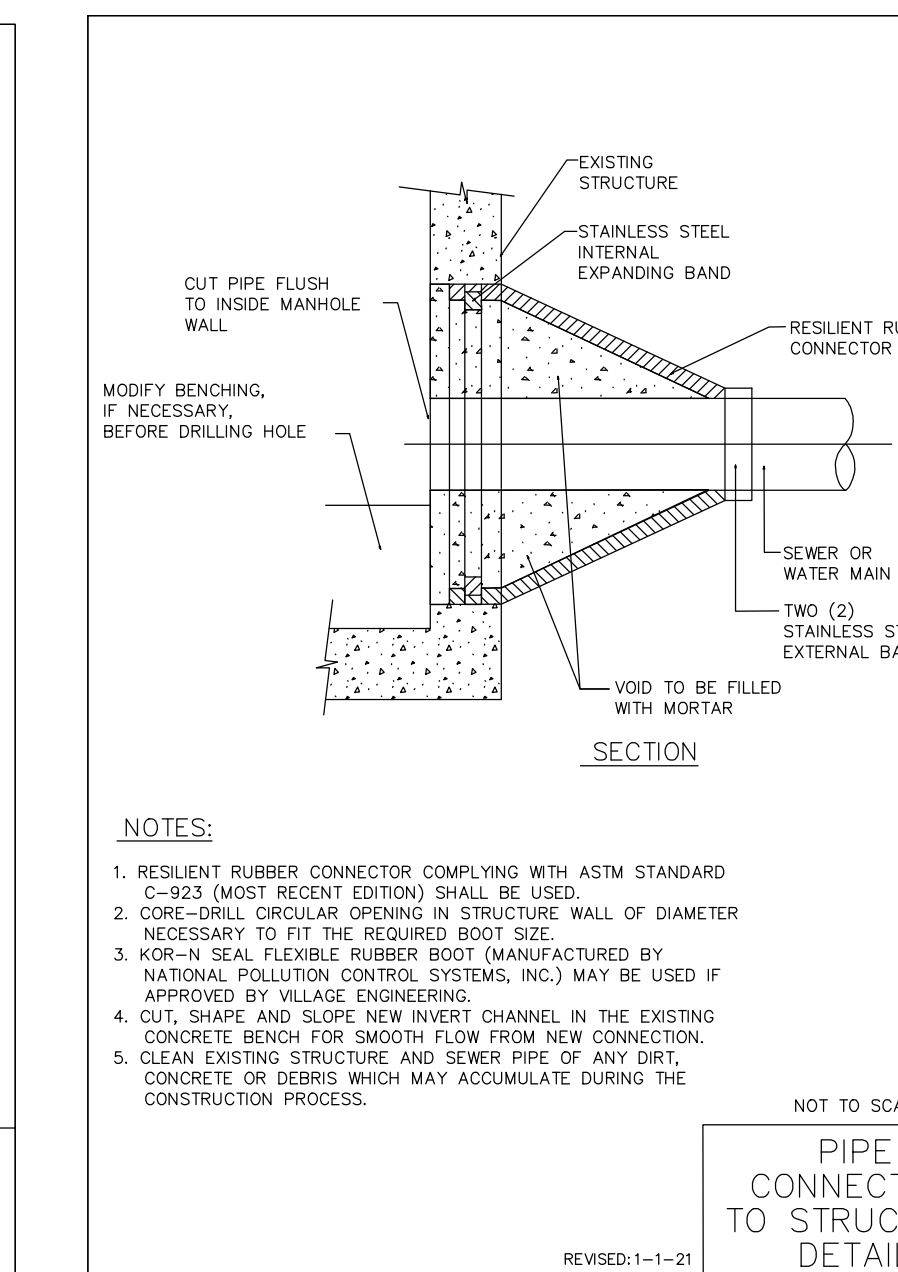
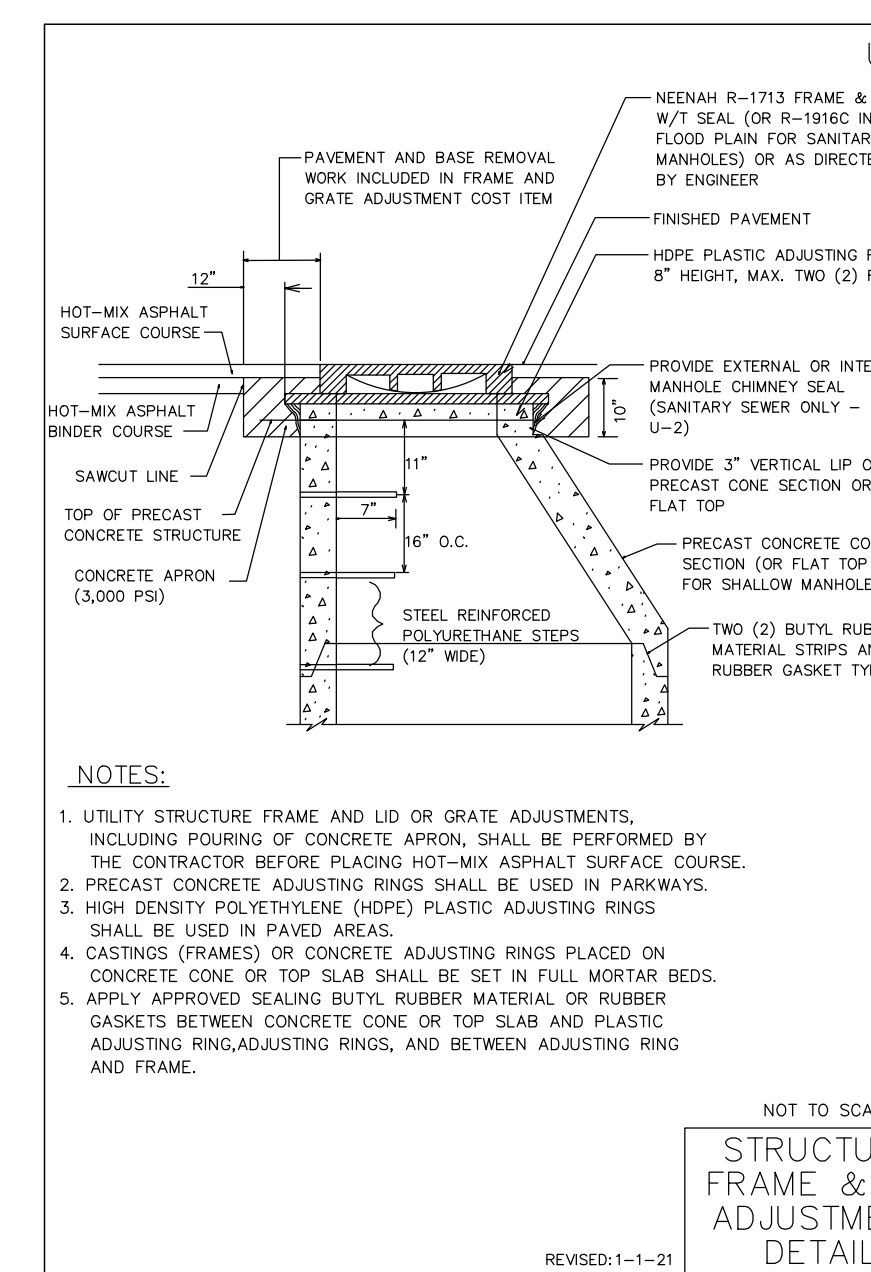
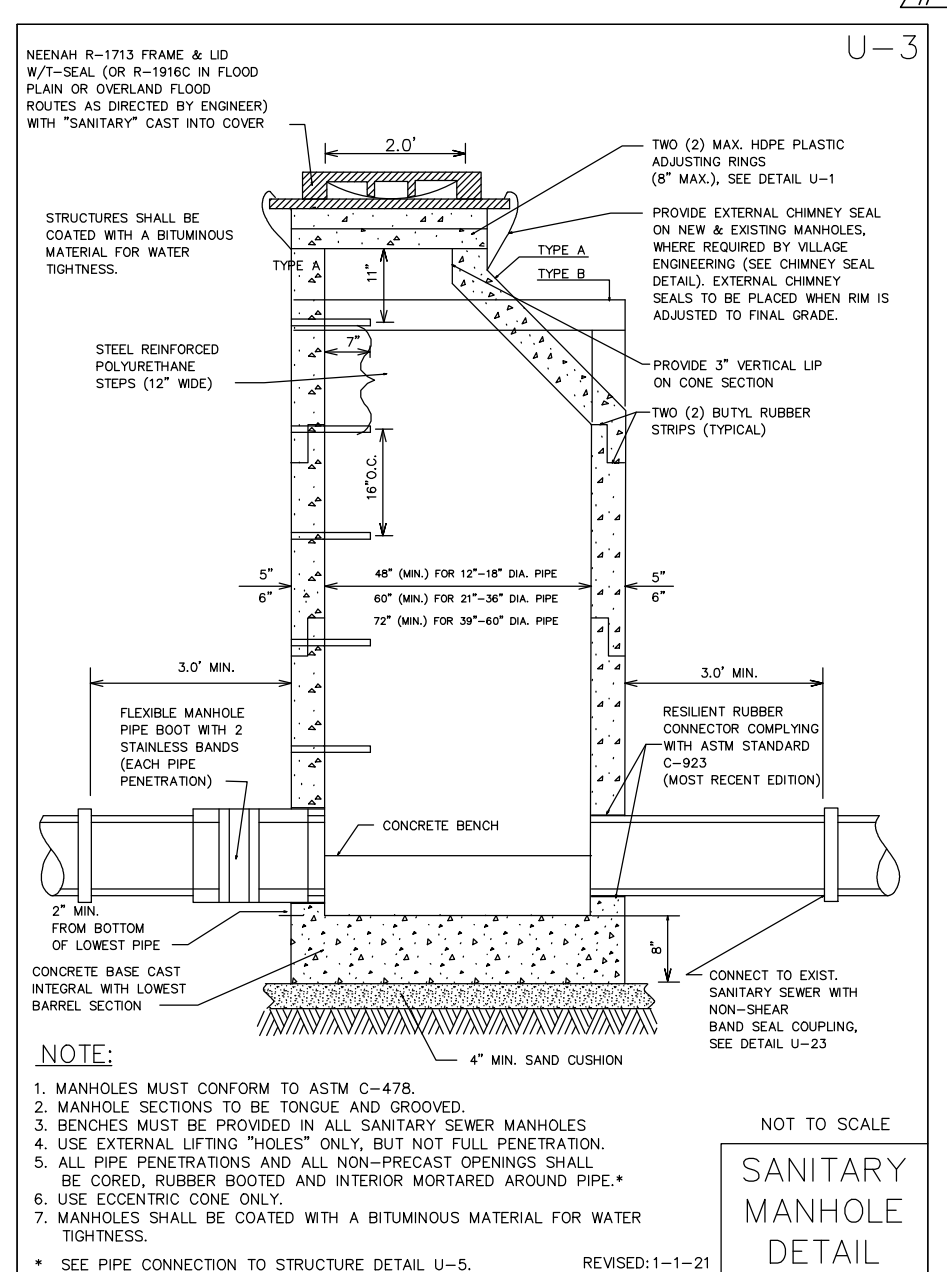
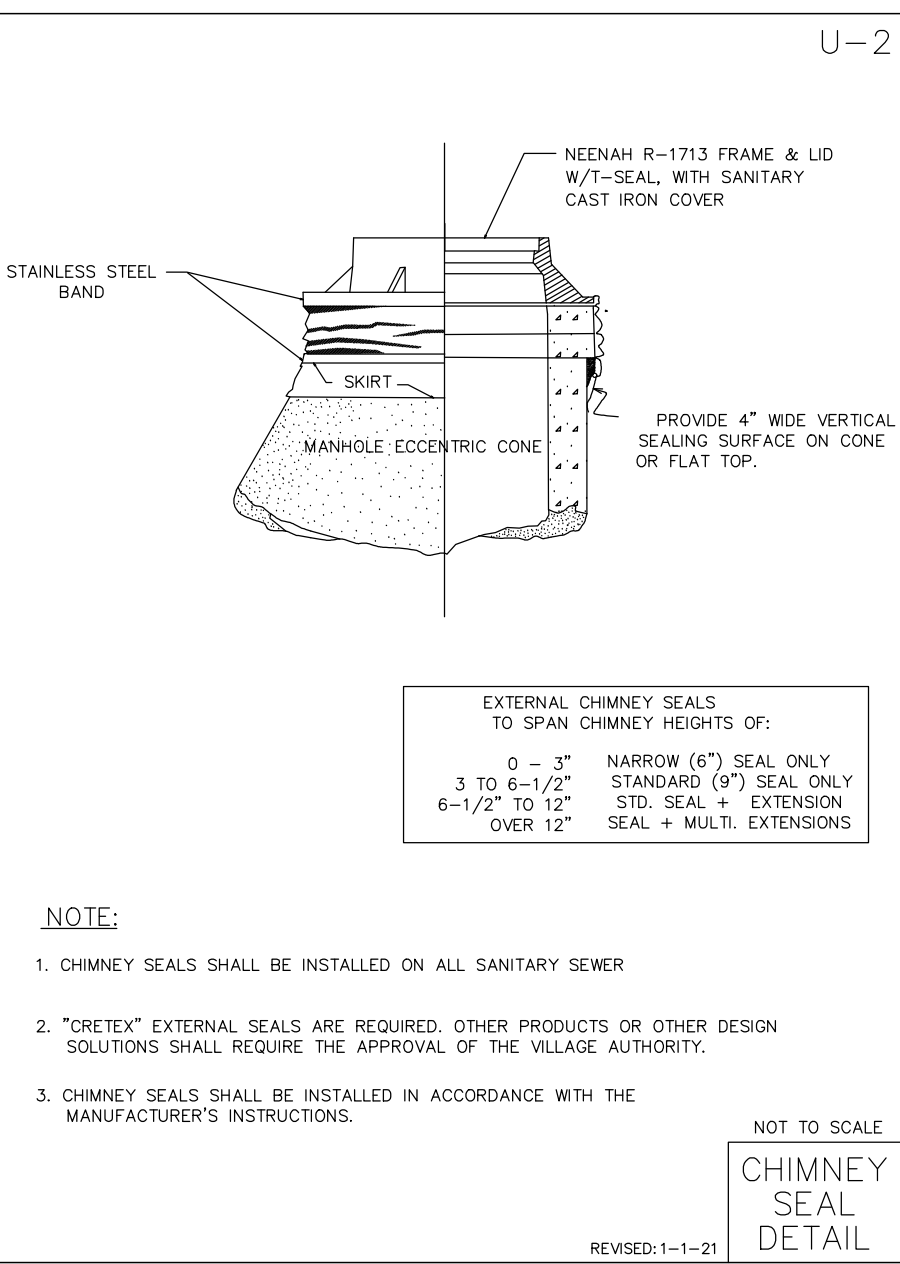
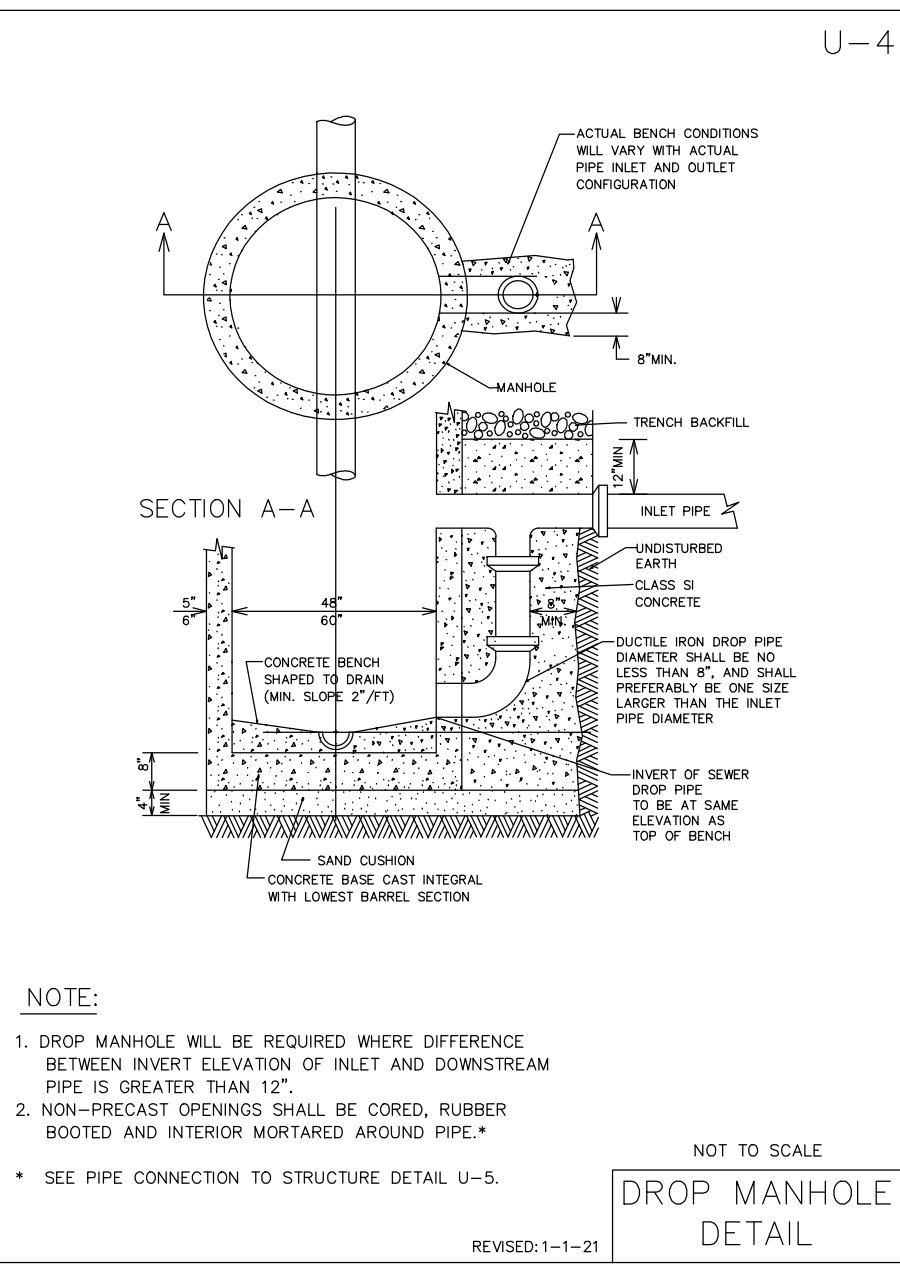
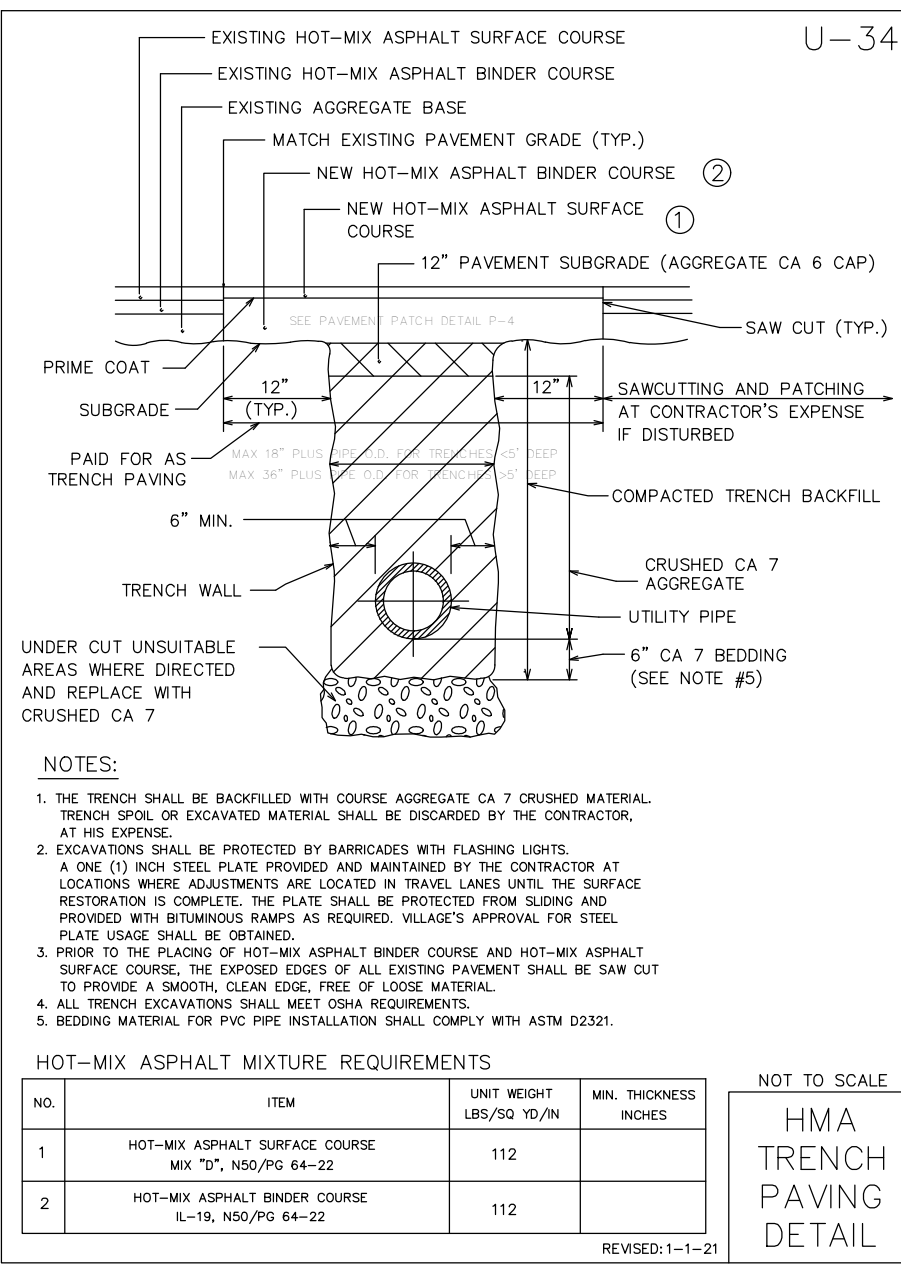
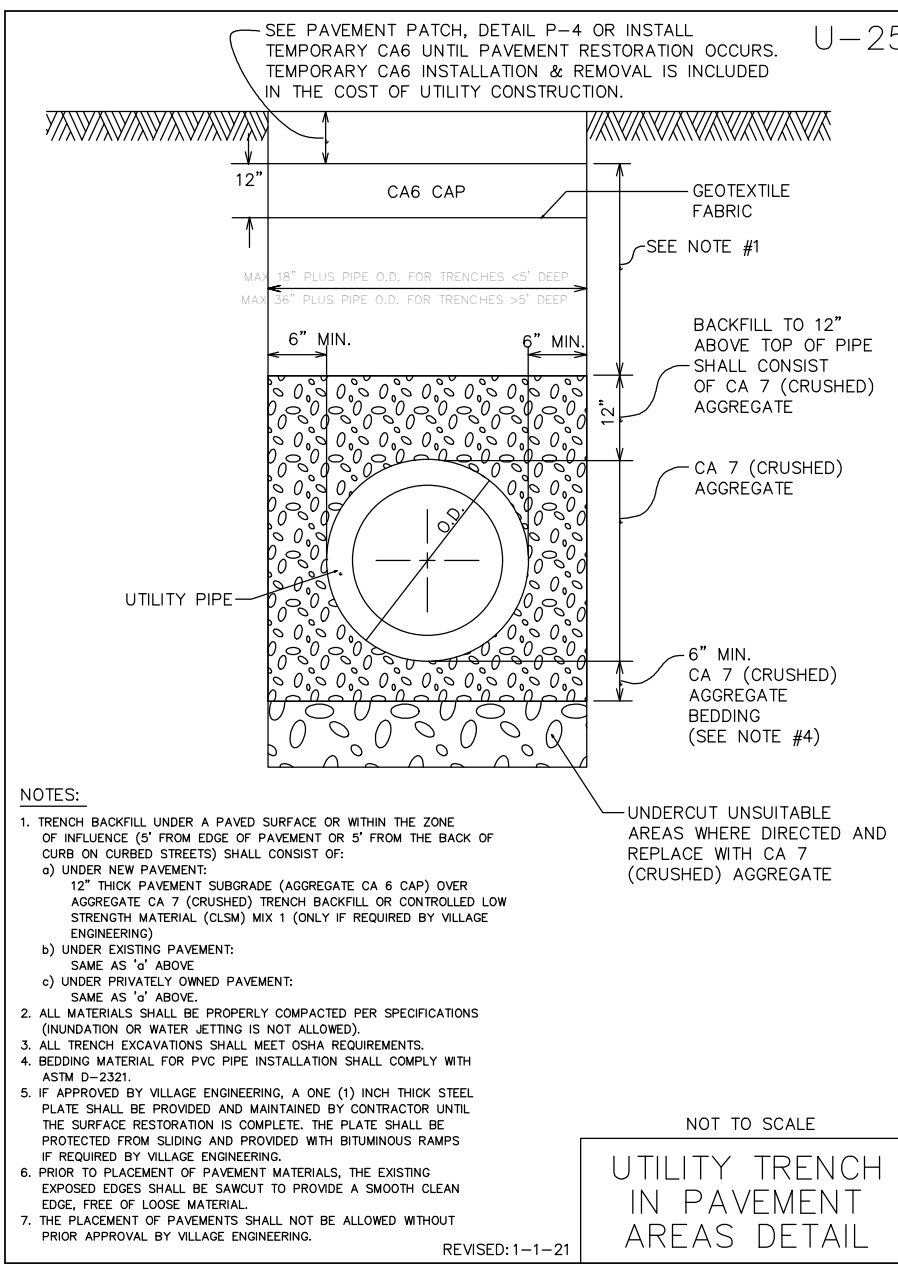
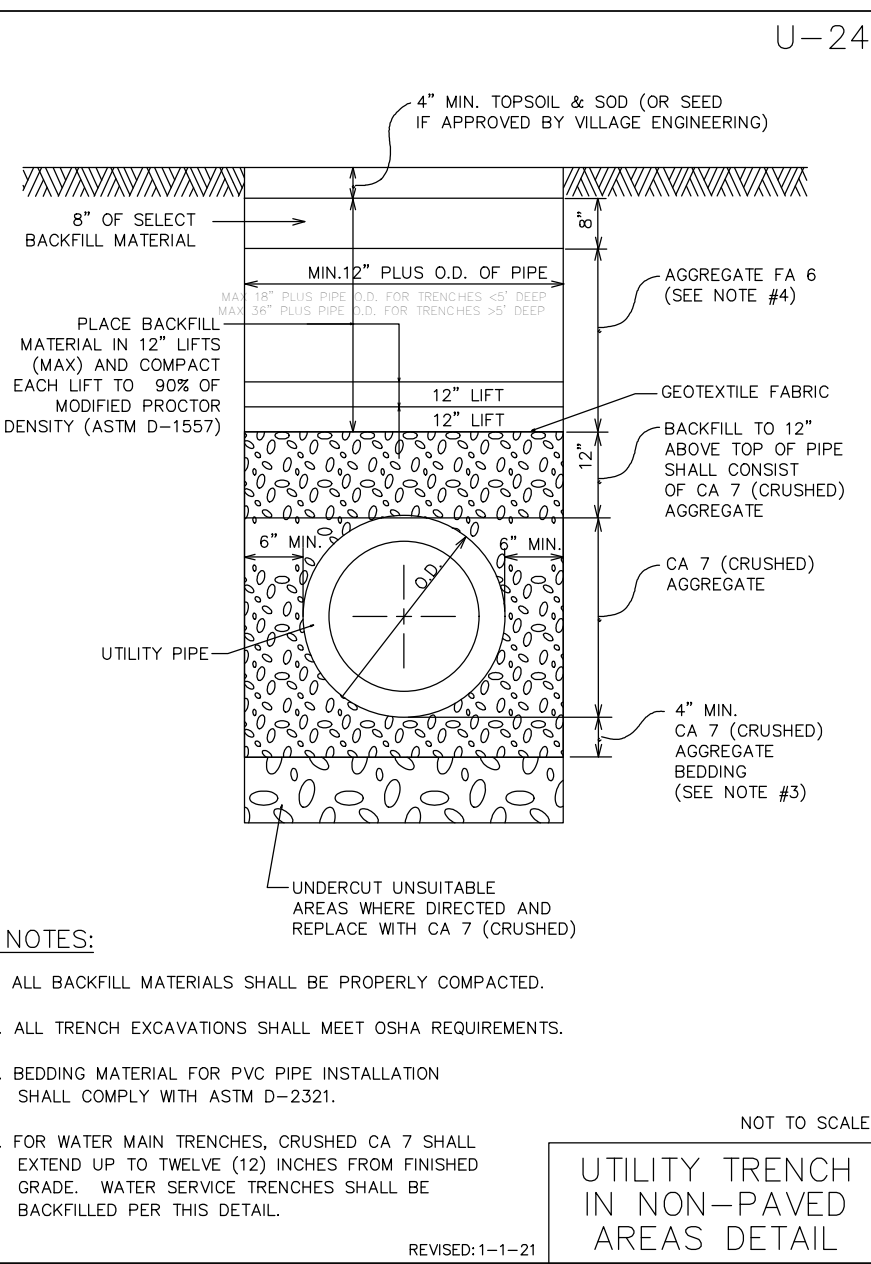
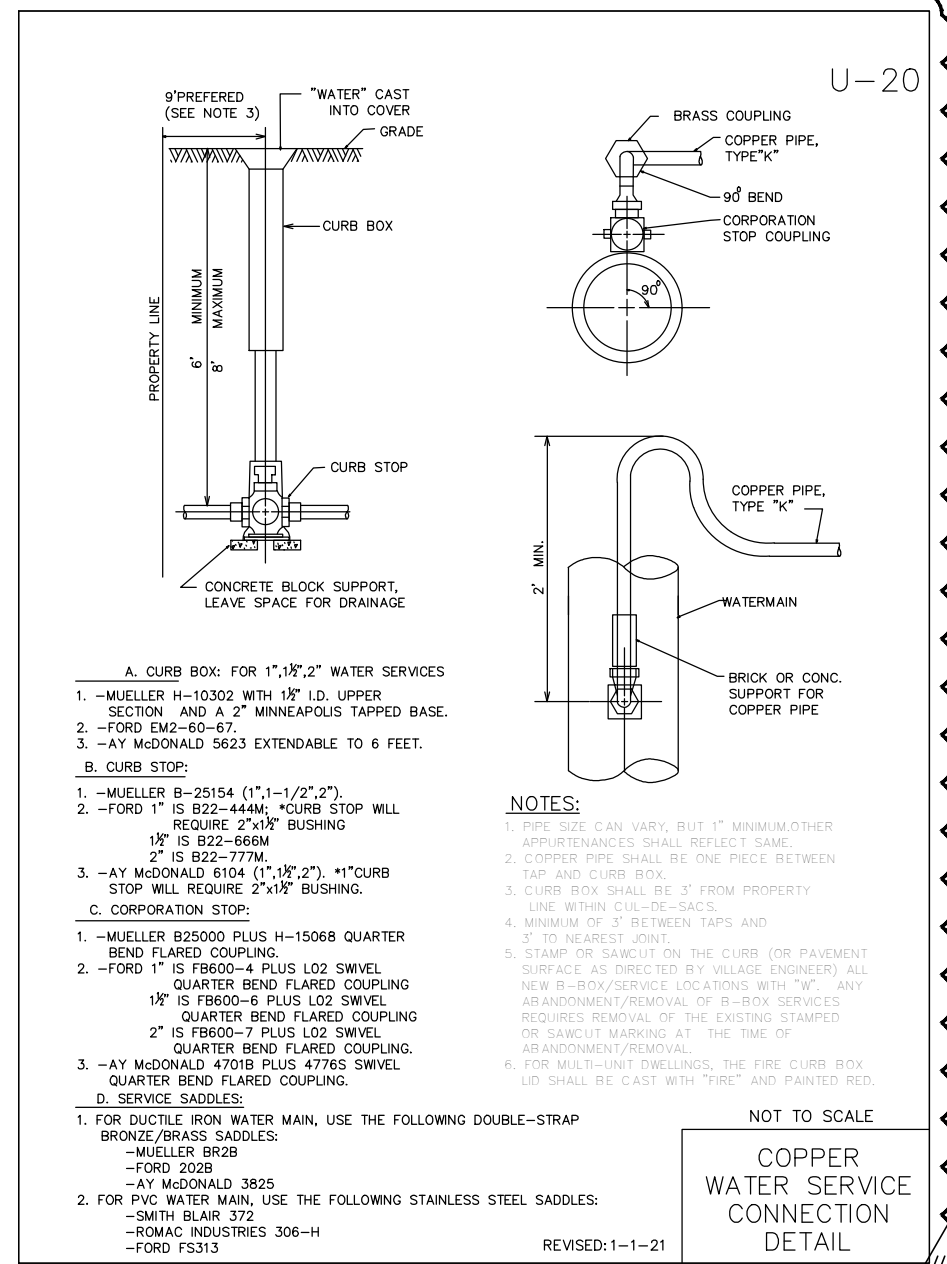
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REVISION

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DETAIL SHEET

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DEEP LAKE RD. / GRASS LAKE RD.

LAKE VILLA, IL

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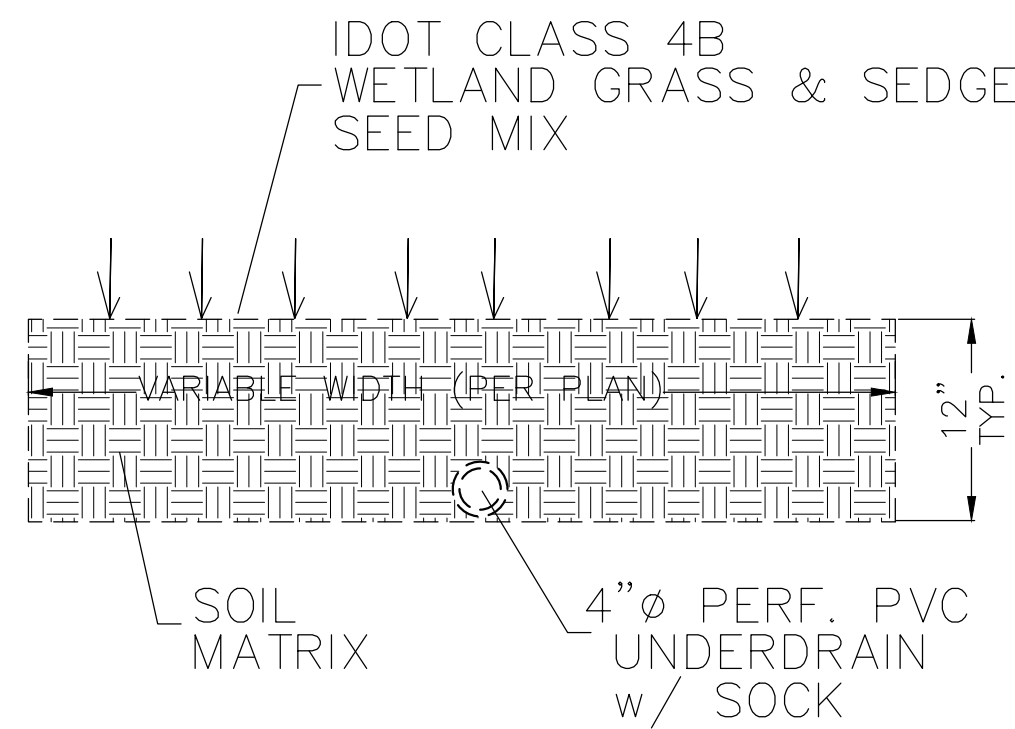
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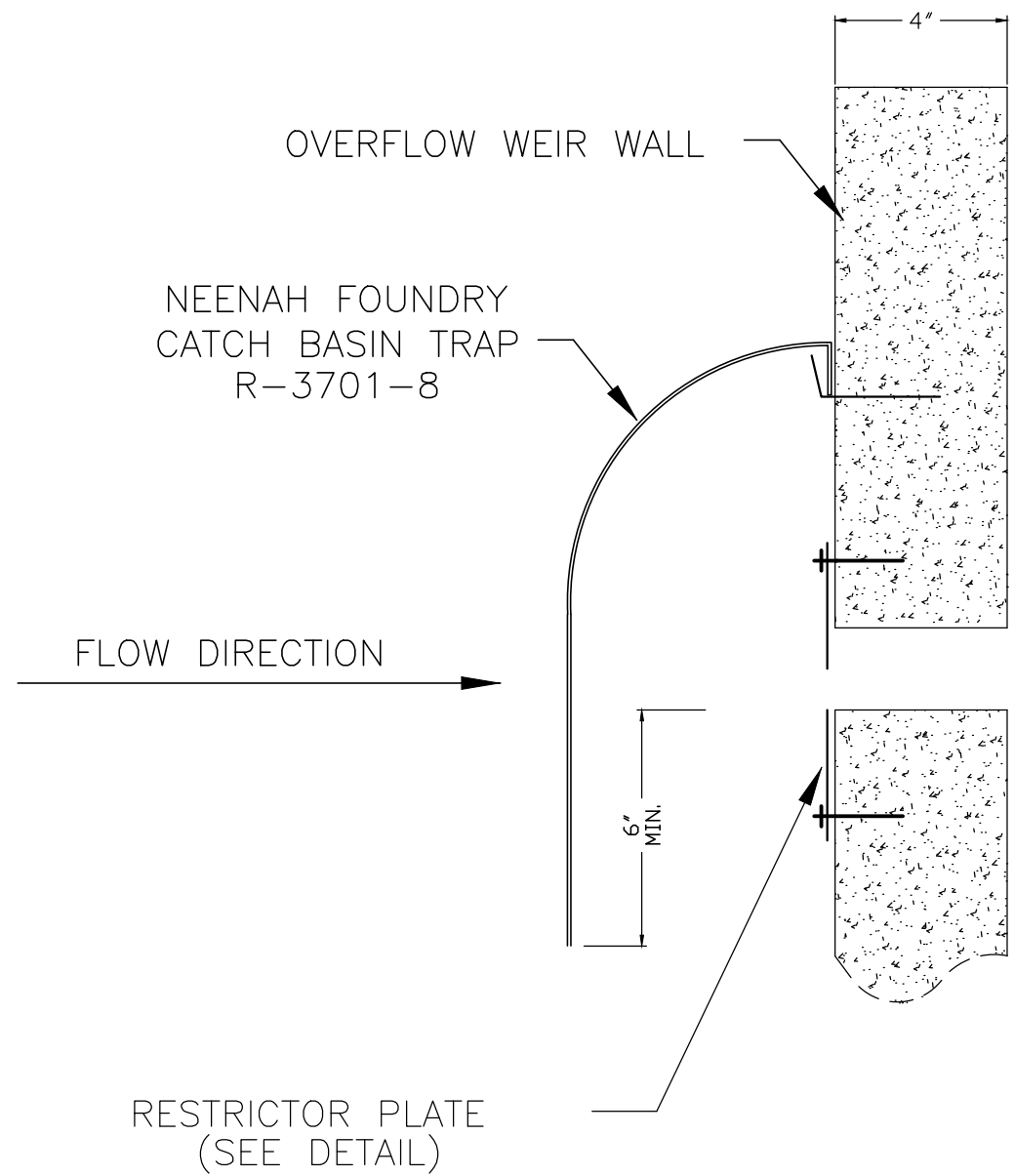
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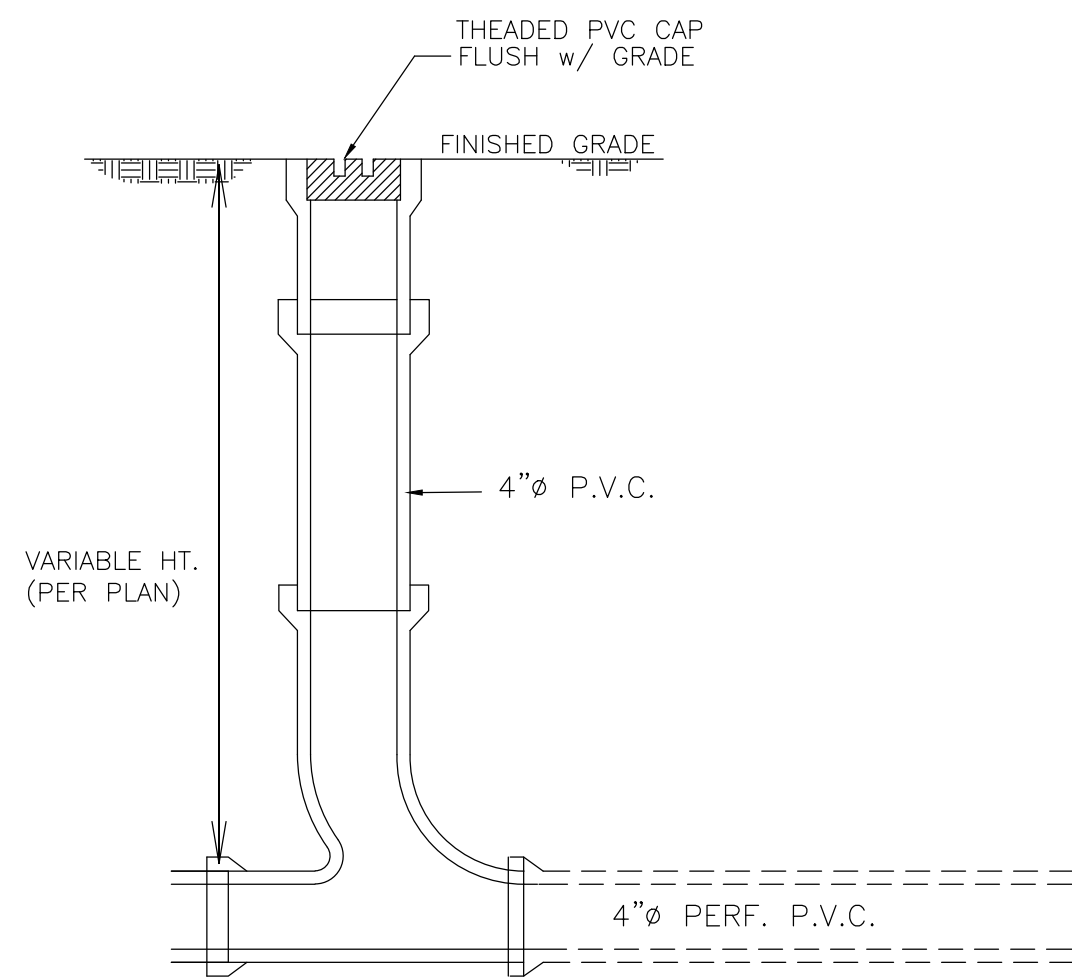
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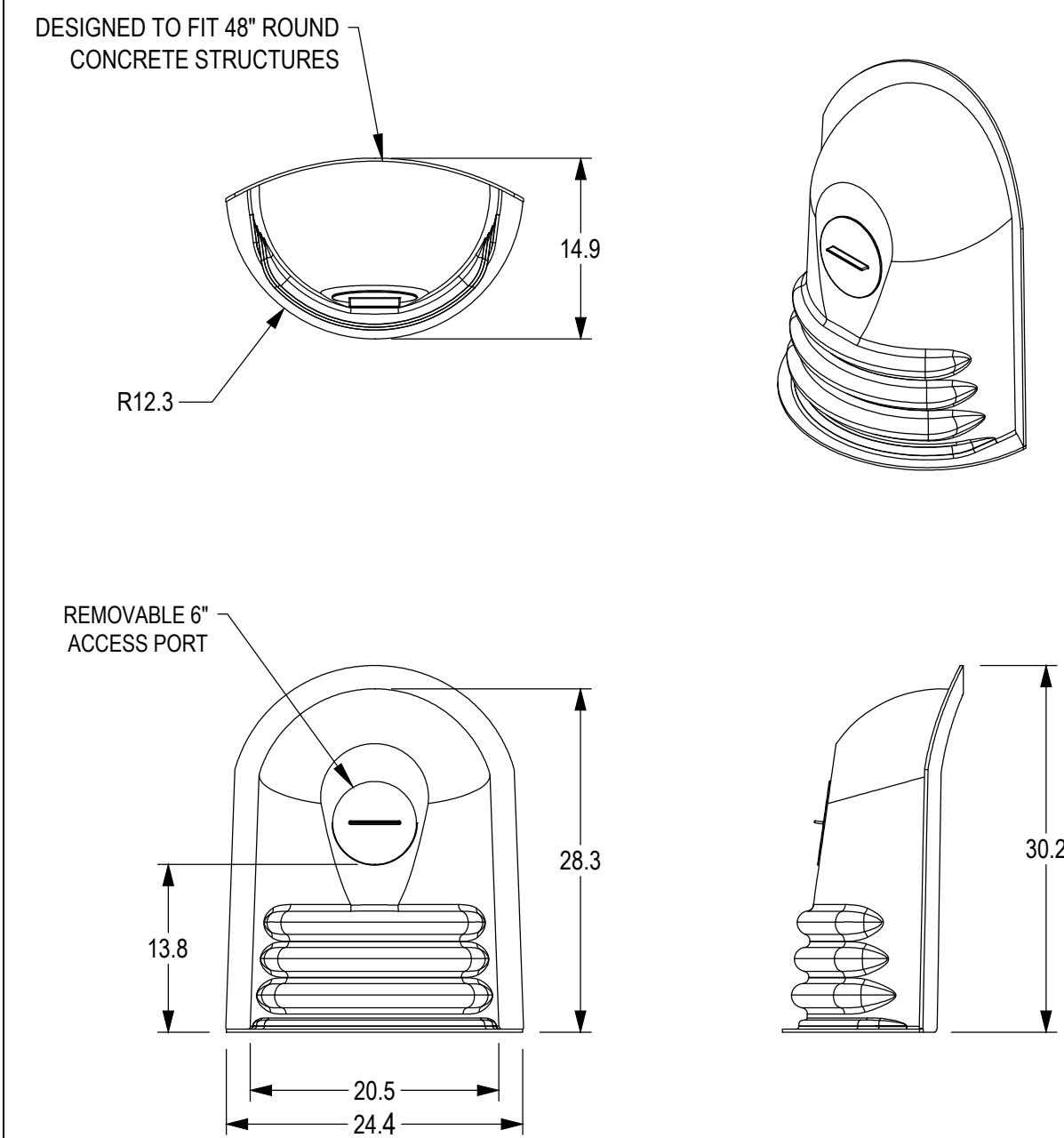
NATIVE PLANTED
DETENTION BASIN
DETAIL



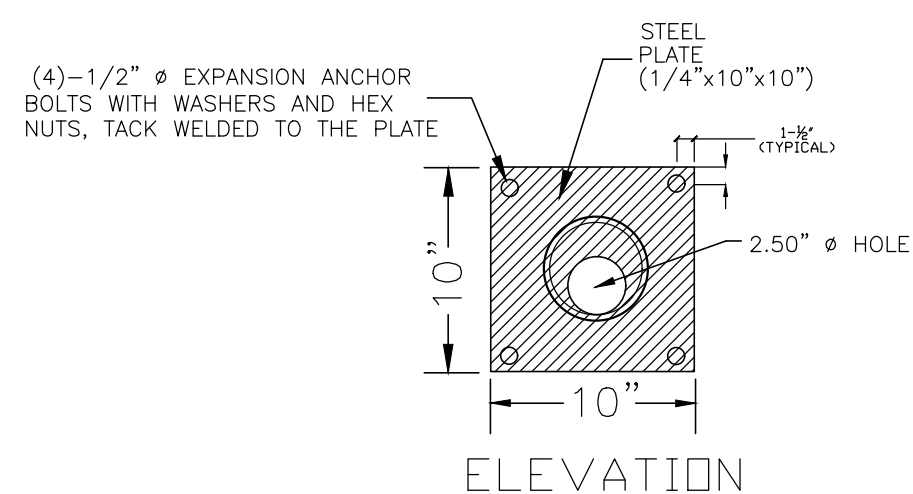
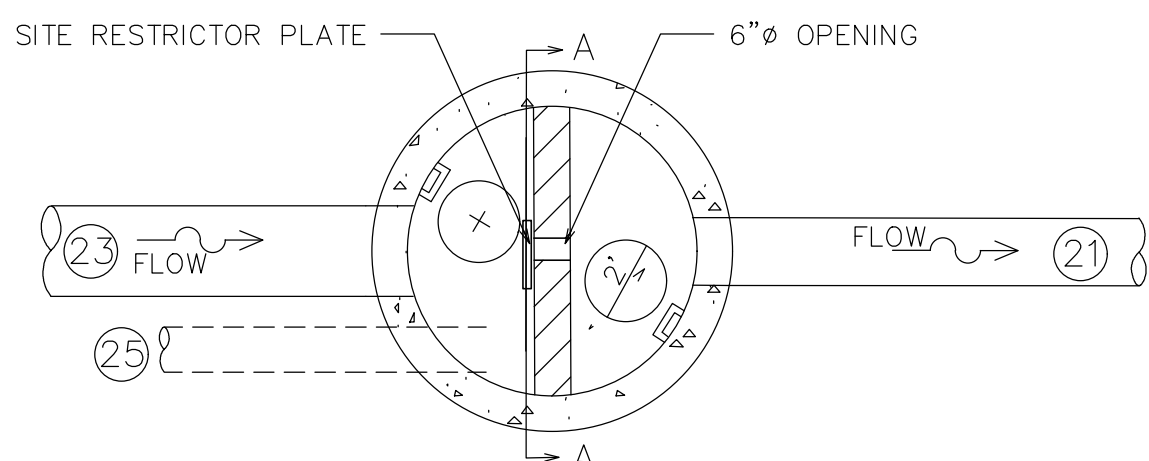
RESTRICTOR
TRAP DETAIL



CLEANOUT
DETAIL



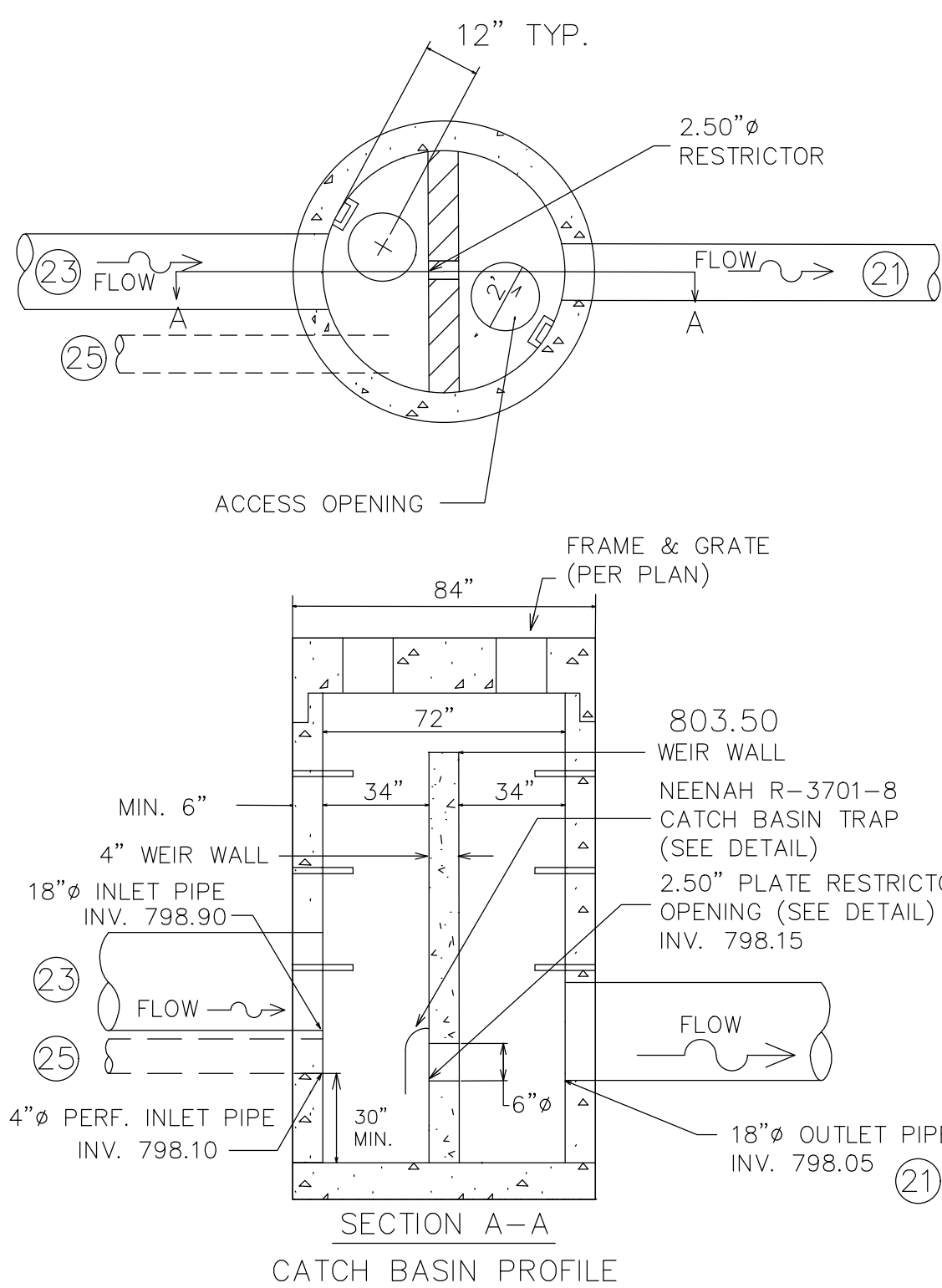
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				DATE	7-3-12						
				APPROVED BY	JJC	PROJECT NO./NAME					
				DATE	7-3-12						
DWG SIZE	A	SCALE	NTS	SHEET	1	OF	1				
DWG NO.				1004-110-10				REV	A	TITLE	18R ENVIRONMENTAL FOR 48" ROUND CONCRETE STRUCTURES



- NOTE:
1. THE RESTRICTOR PLATE AND FASTENERS SHALL BE FABRICATED IN STAINLESS STEEL OR DUCTILE IRON
 2. THE DEPTH OF THE ANCHOR BOLTS SHALL BE EMBEDDED AT LEAST 3" INTO THE STRUCTURE WALL

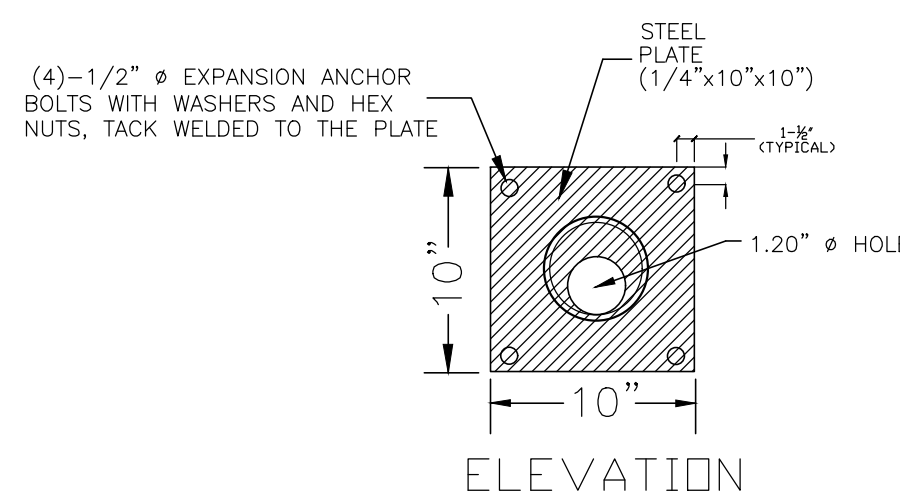
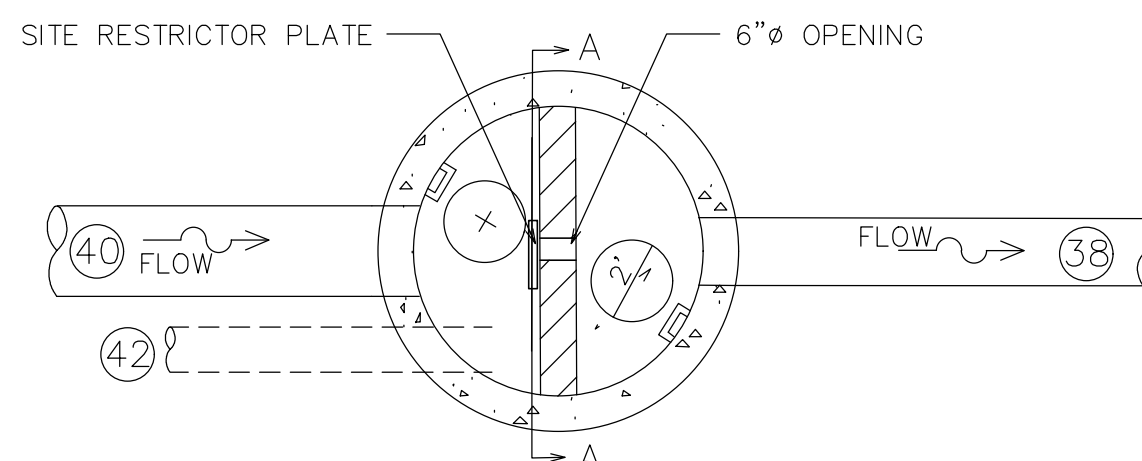
STRUCTURE #2

SITE OUTLET
RESTRICTOR DETAIL



STRUCTURE #2

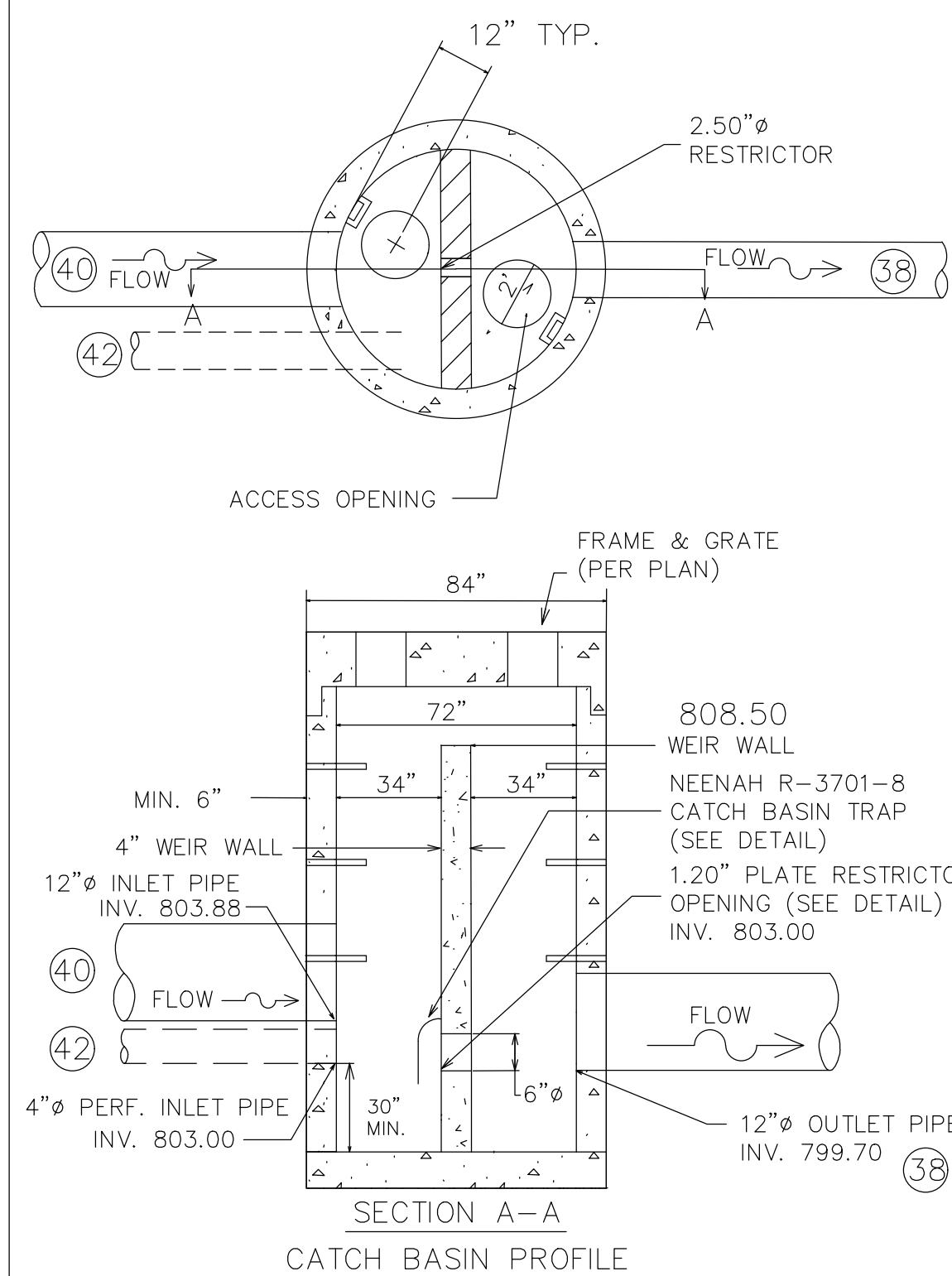
SITE OUTLET RESTRICTOR
STRUCTURE DETAIL



- NOTE:
1. THE RESTRICTOR PLATE AND FASTENERS SHALL BE FABRICATED IN STAINLESS STEEL OR DUCTILE IRON
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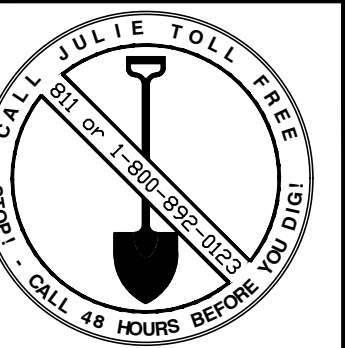
STRUCTURE #10

SOUTHWEST BASIN
RESTRICTOR DETAIL



STRUCTURE #10

SOUTHWEST BASIN
STRUCTURE DETAIL



REVISION	DATE	NO.
Initial Submit	03-25-24	1
Per 801 Tower Drive - Plan Review #1 (04-20-24)		
Per 801 Tower Drive - Engineering Review (04-19-24)		
Per PUD Amendment Memorandum (04-18-24)		

**NORMAN J. TOBERMAN
& ASSOCIATES, LLC**

CIVIL ENGINEERS & SURVEYORS

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mail@toberman.us
IL Design Firm: 184.005910
Expires: 4-30-2025

DETAIL SHEET

PROPOSED DEVELOPMENT
DEEP LAKE RD. / GRASS LAKE RD.
LAKE VILLA, IL

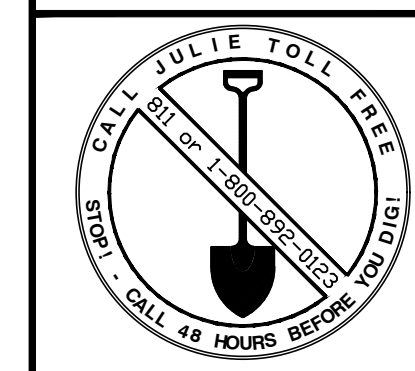
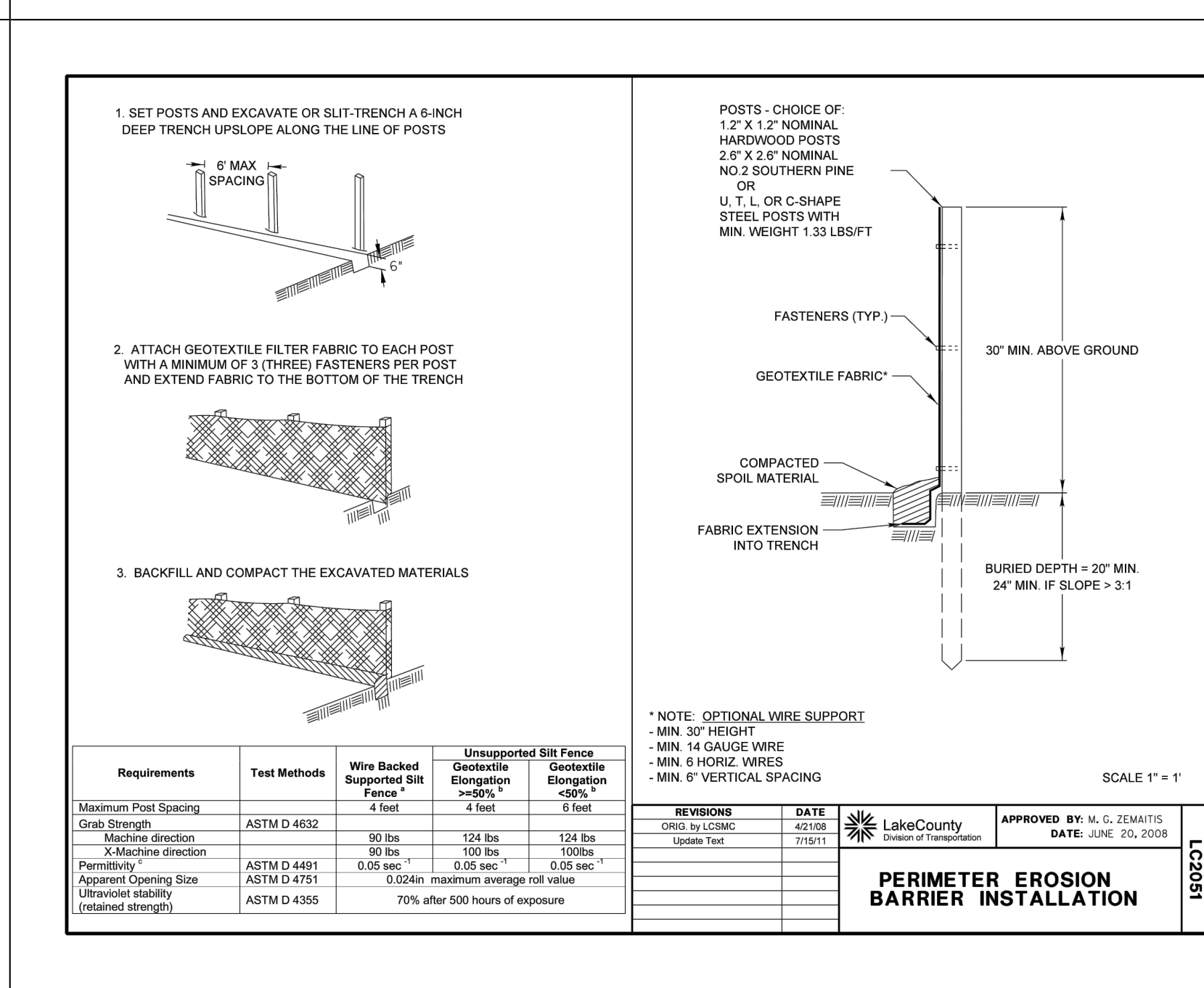
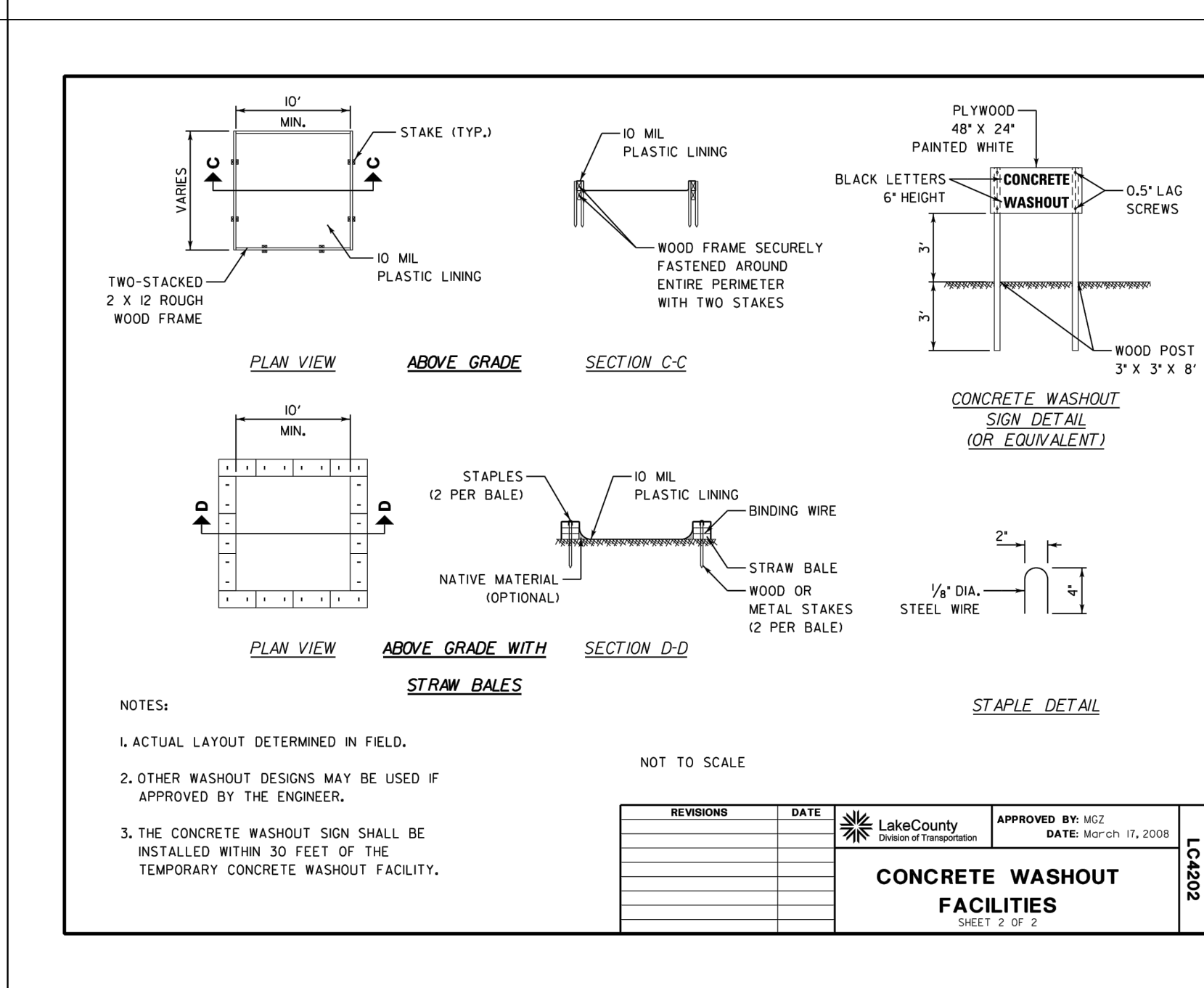
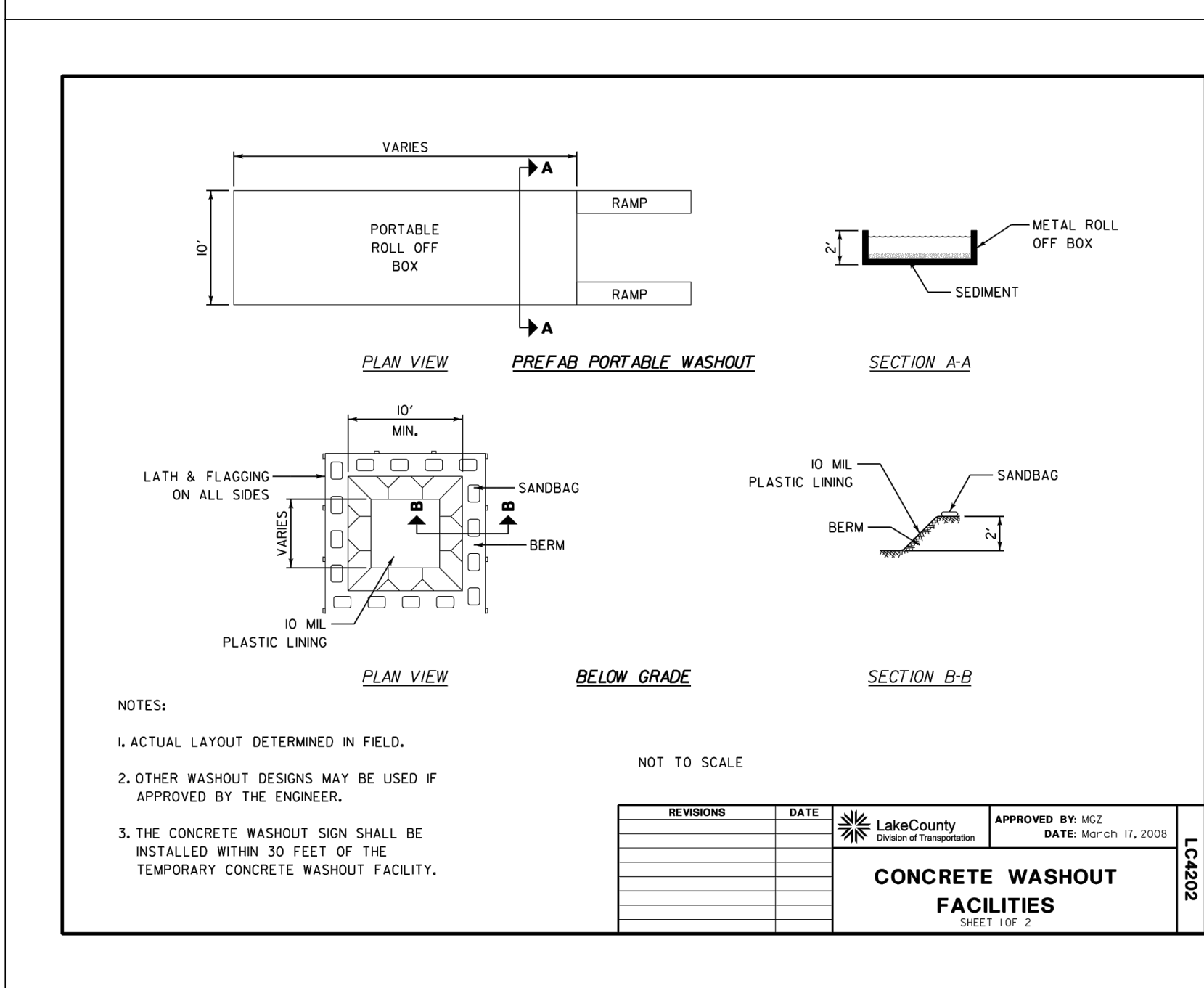
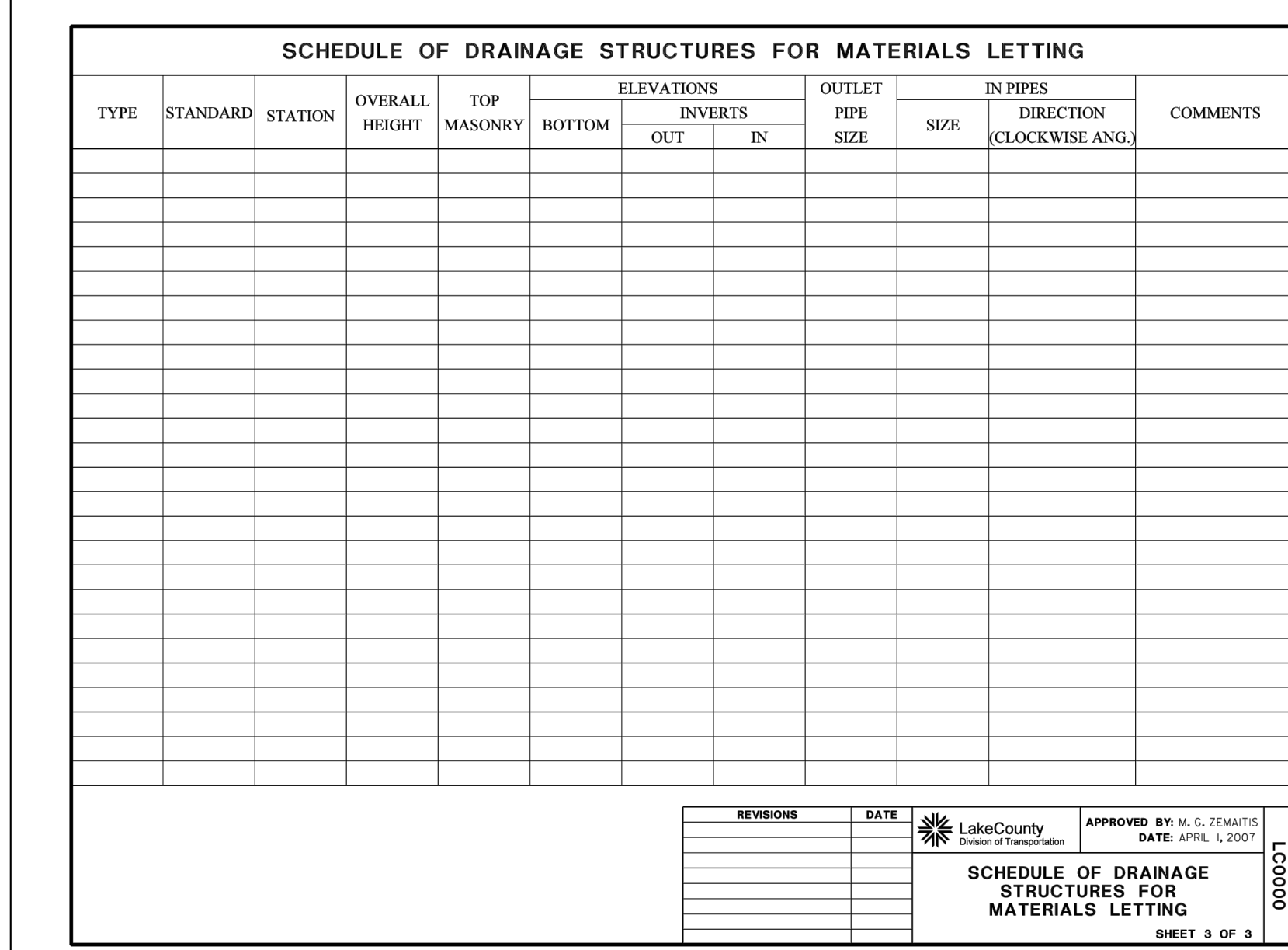
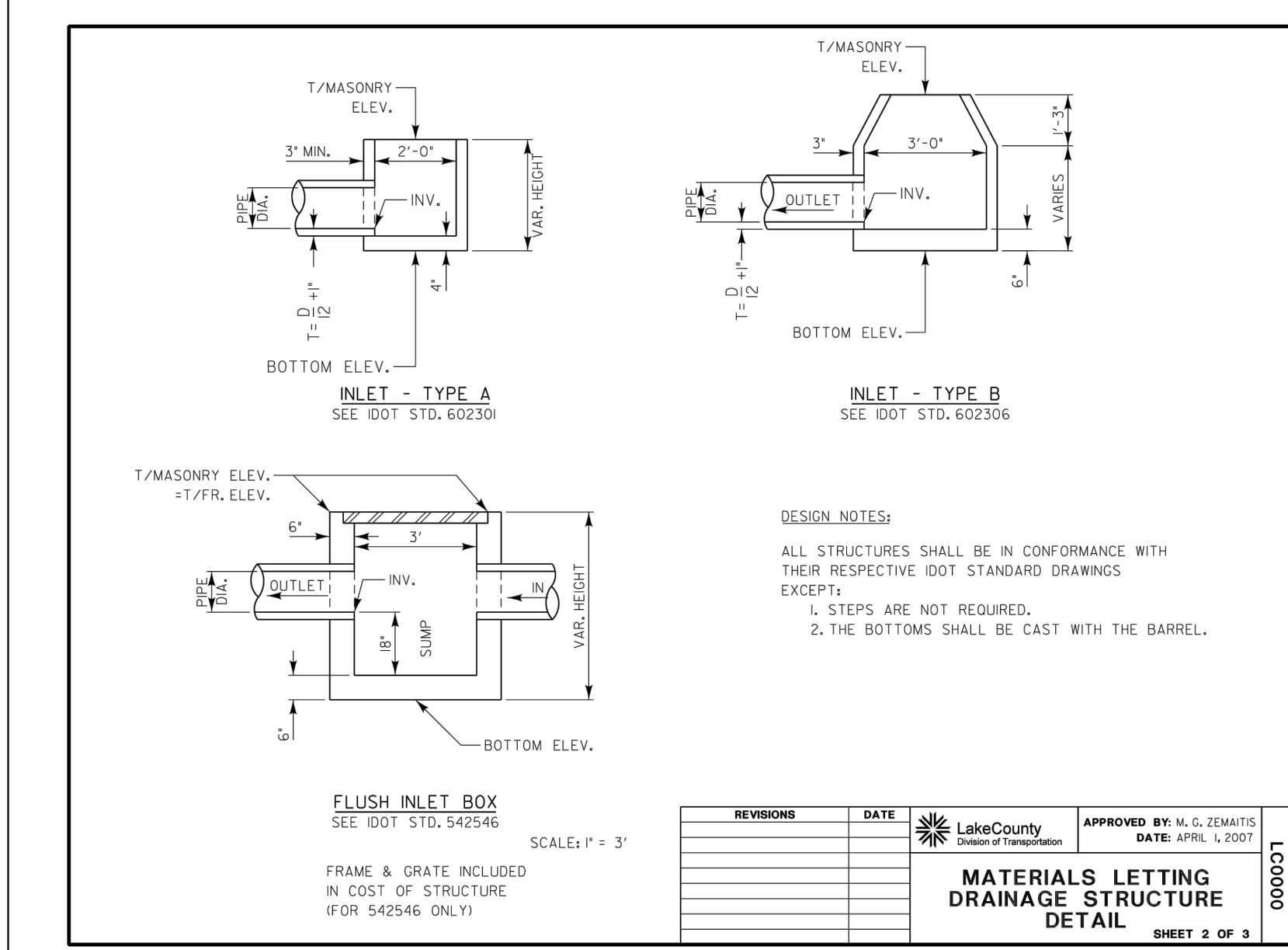
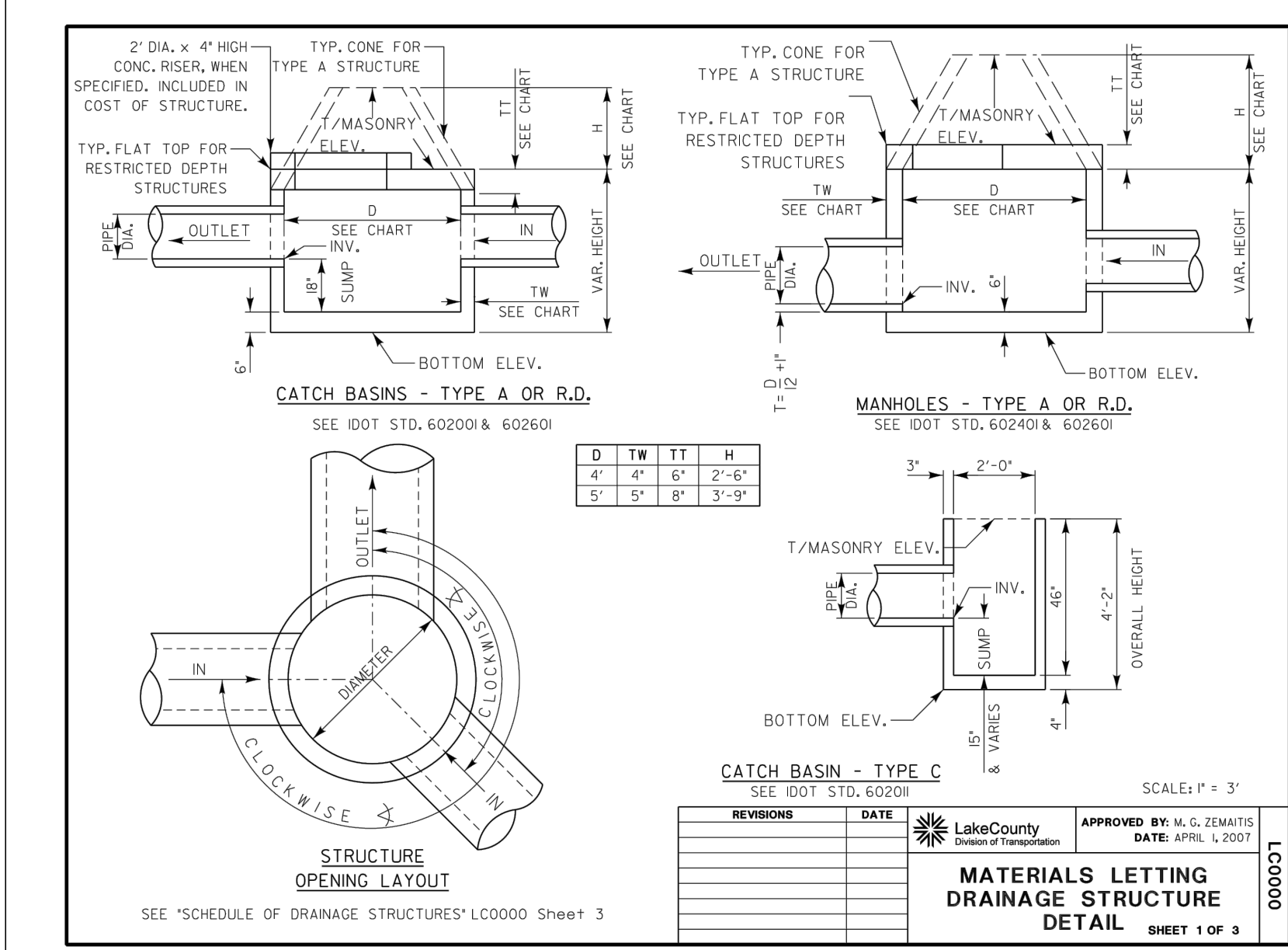
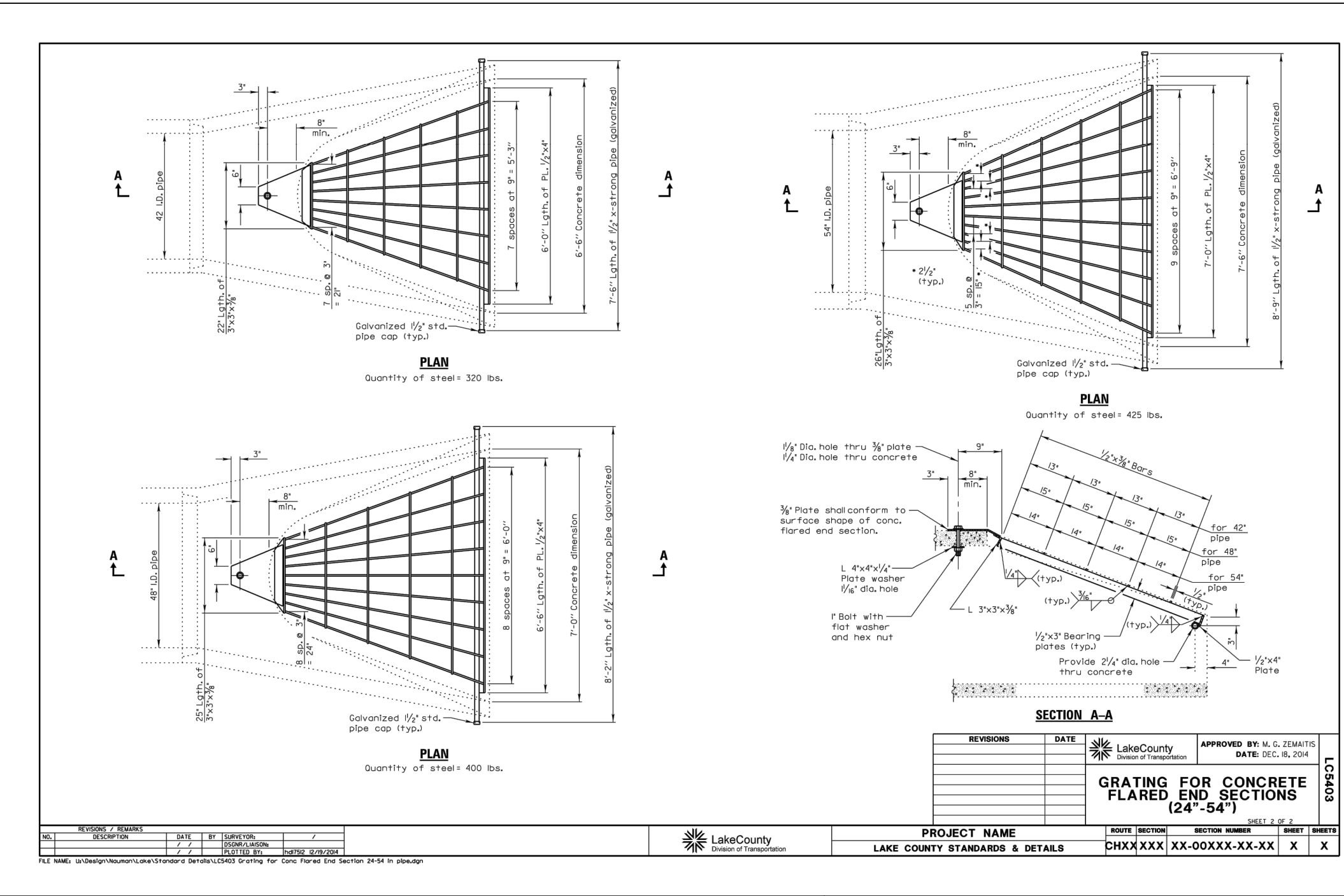
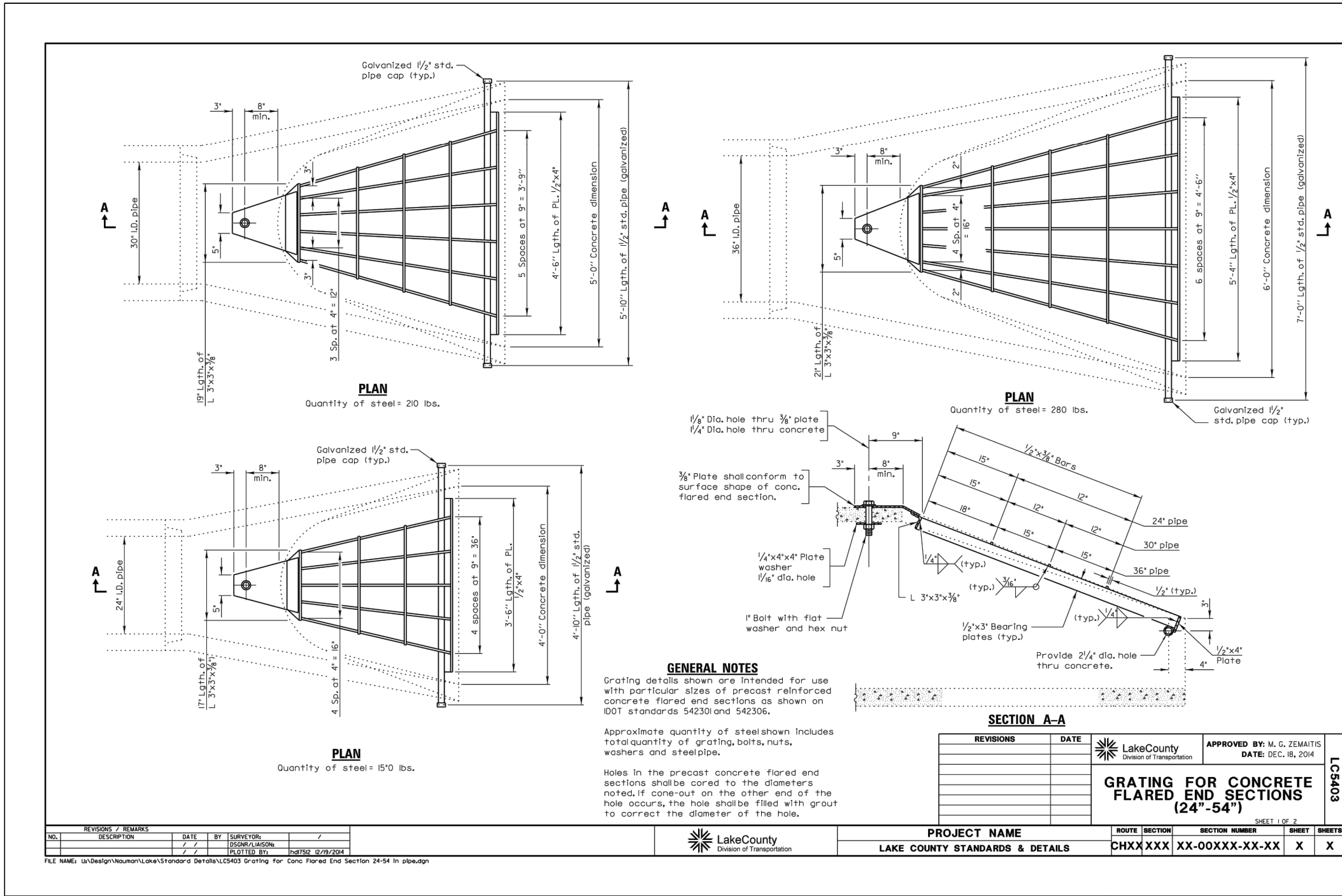
THIS SEAL IS VOID IF NON-PRINTED CHANGES APPEAR ON THESE PLANS



Norman J. Toberman
EXPIRES 11-30-2025

DATE	03/09/24
DRAWN BY:	CJT/SF
DESIGN BY:	CJT/SF
APPROVED BY:	CJT

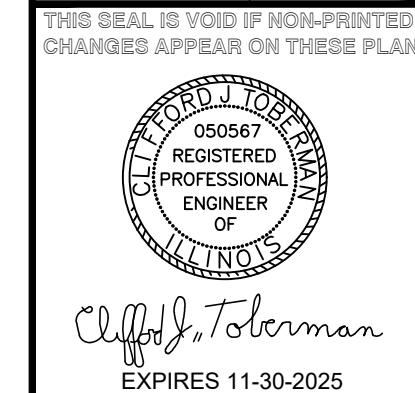
Sheet No.
C-7.1
NJ Project No.
24-7543



No.	DATE	REVISION
1	05-09-24	Initial Submit
		Per 801 Tower Drive - Plan Review #1 (04-20-24)
		Per 801 Tower Drive - Engineering Review (04-19-24)
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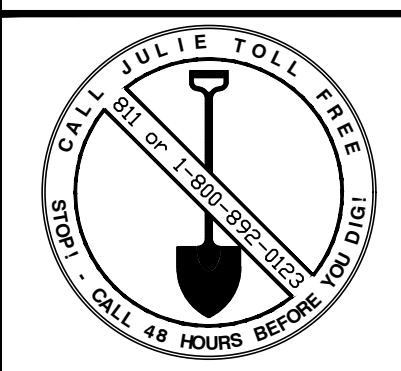
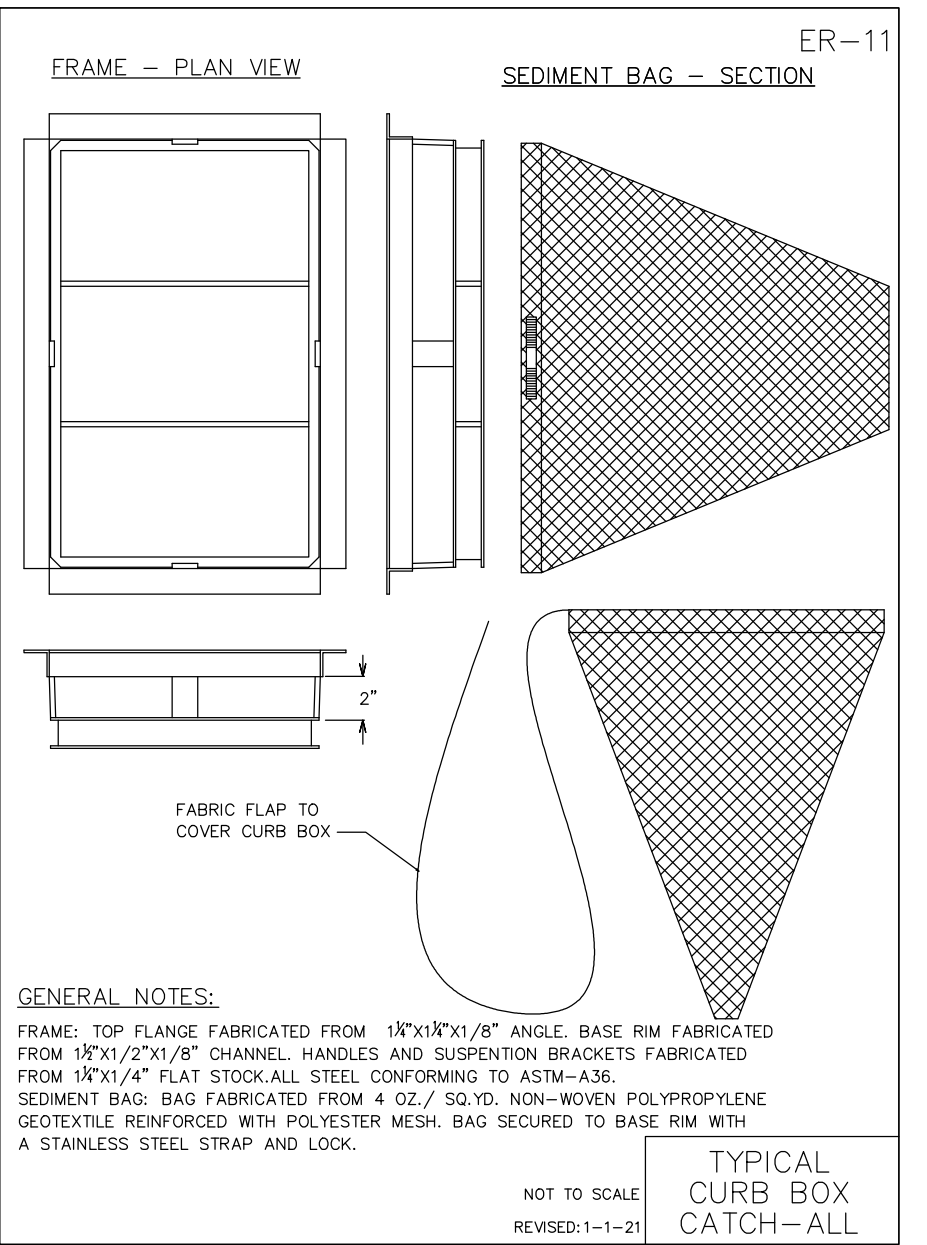
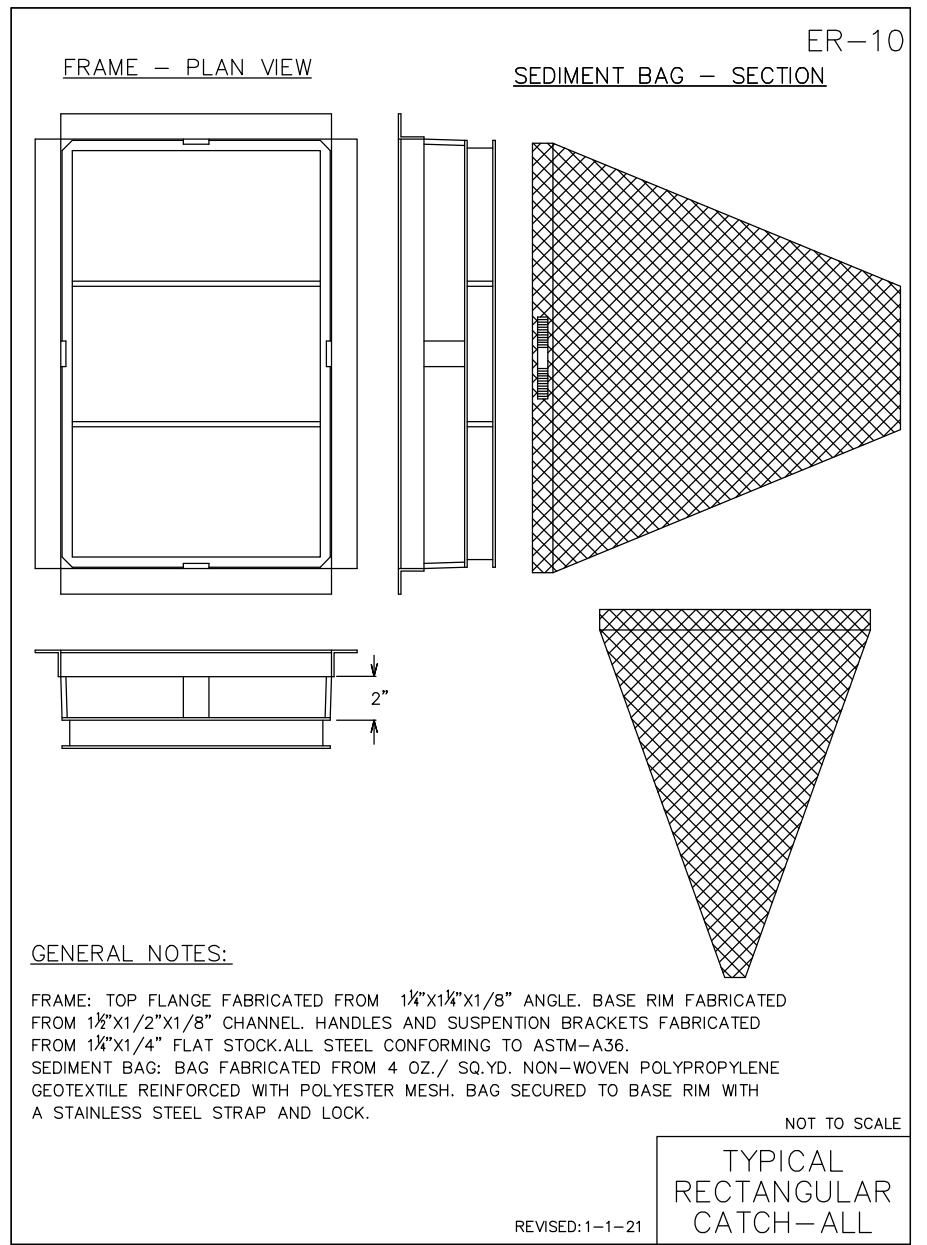
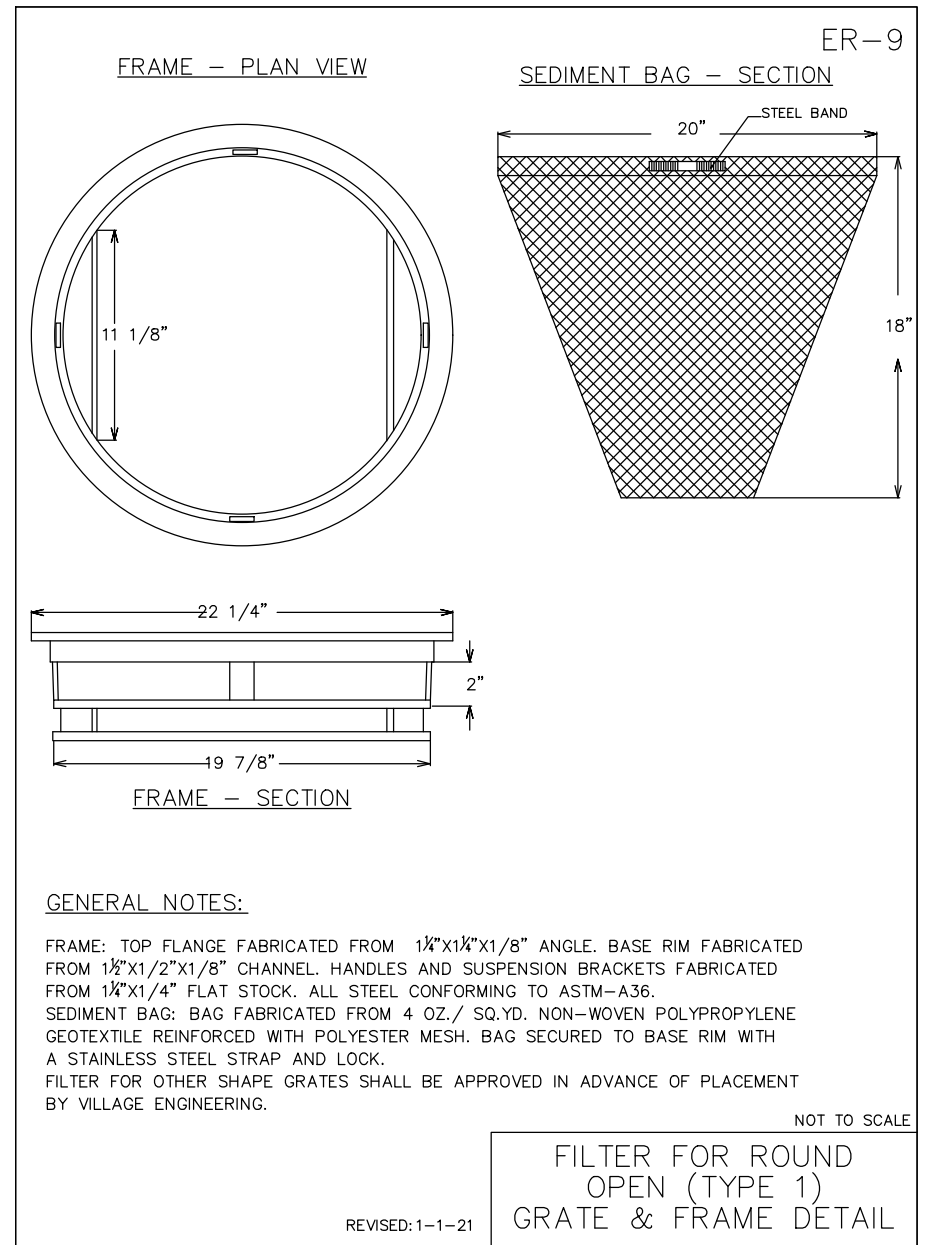
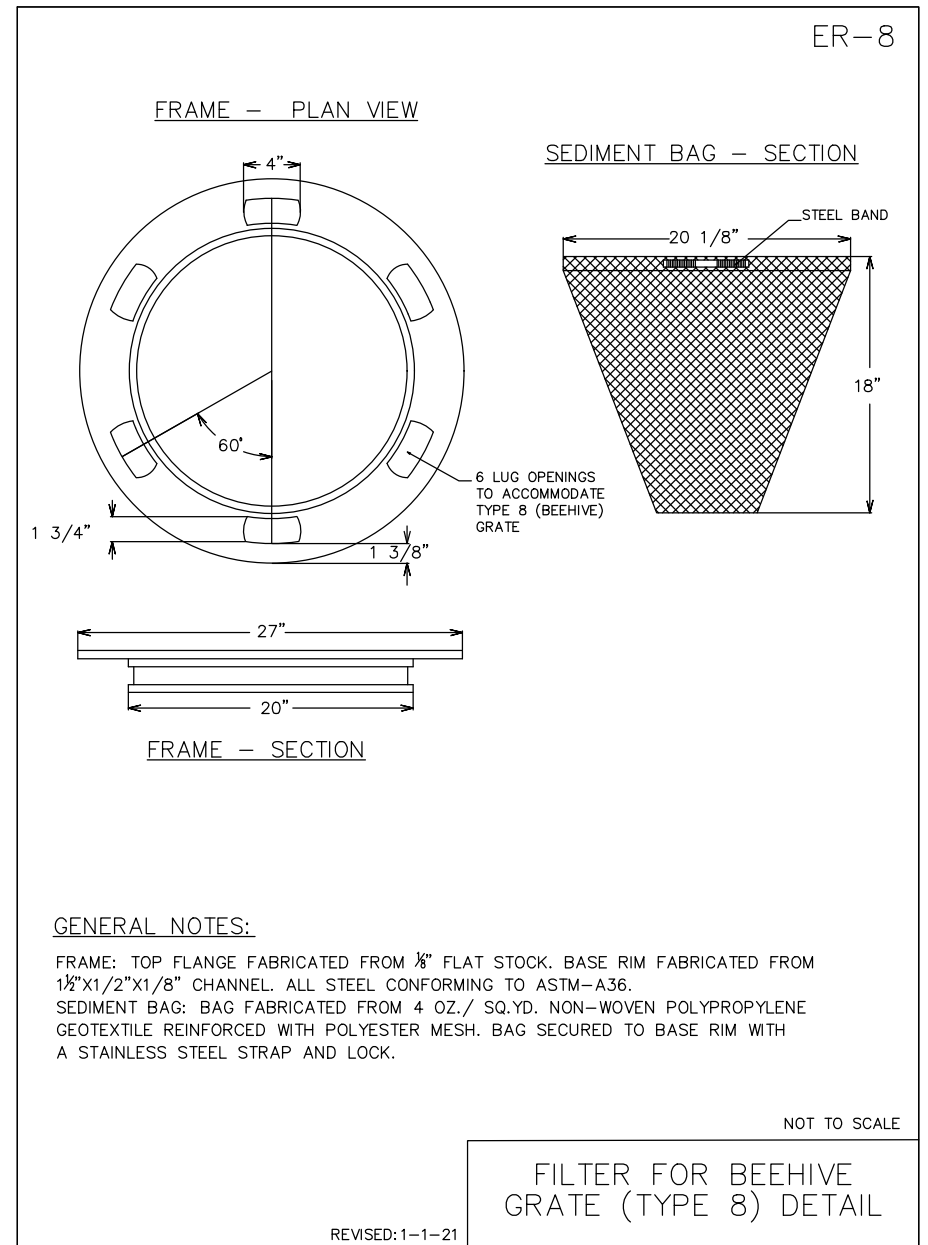
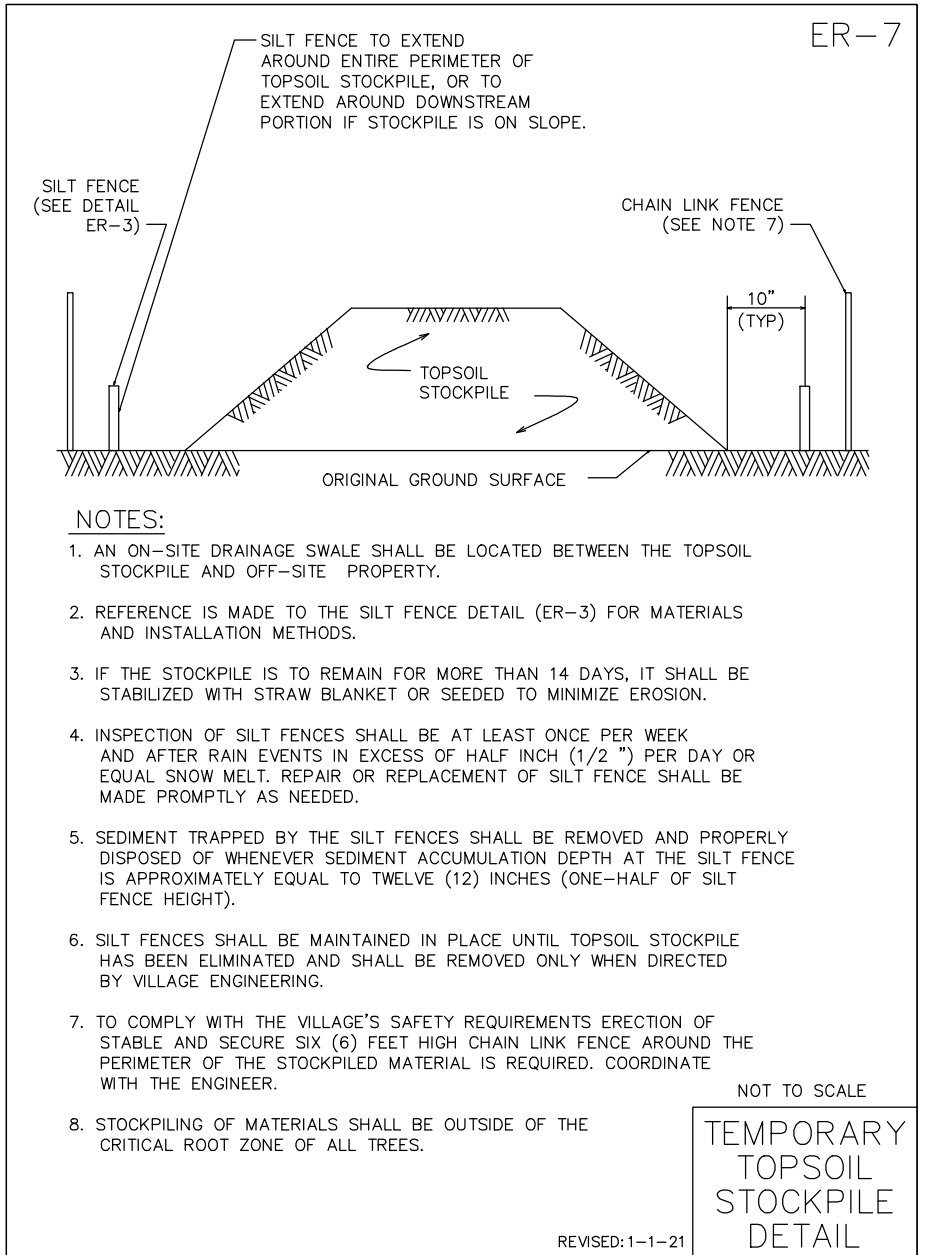
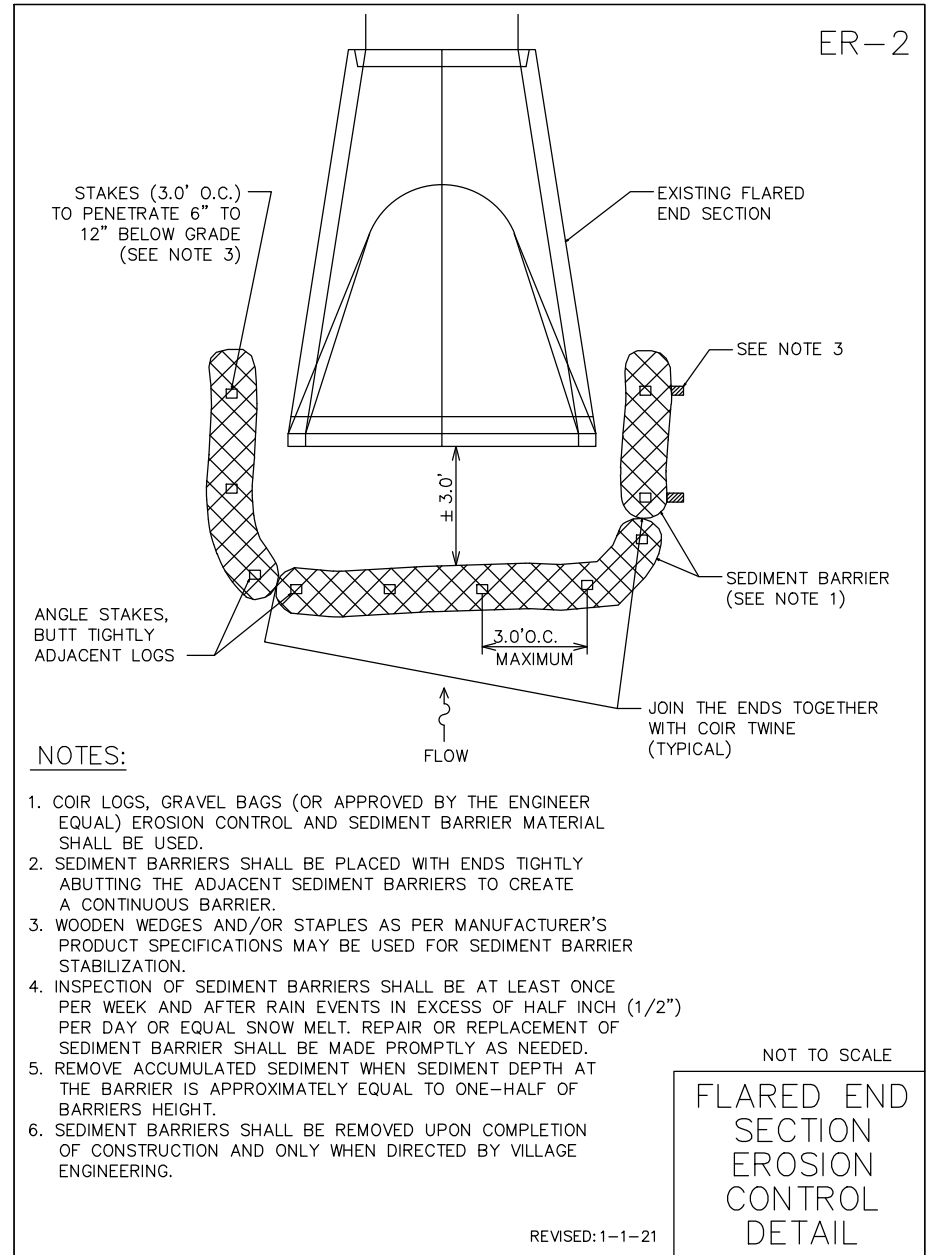
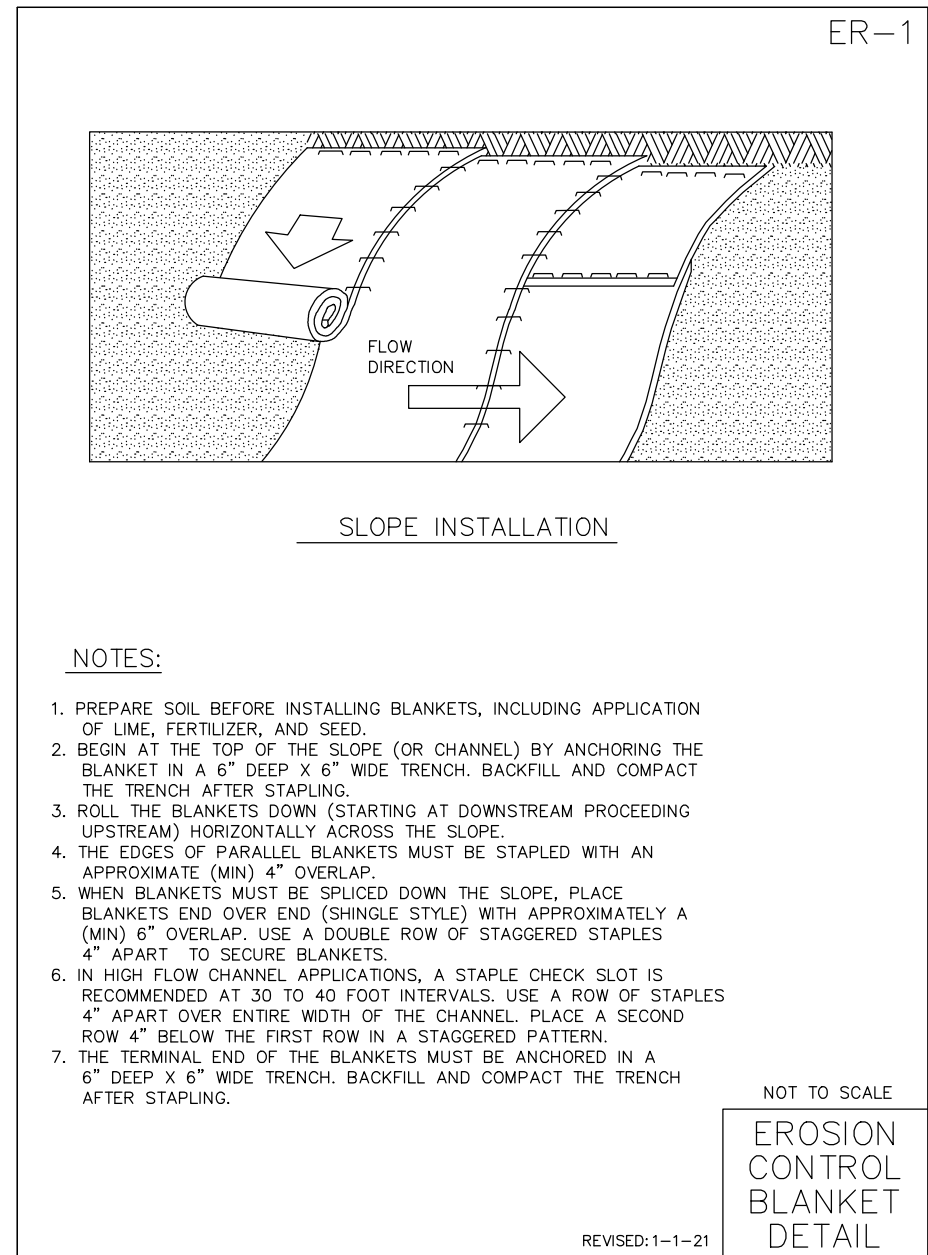
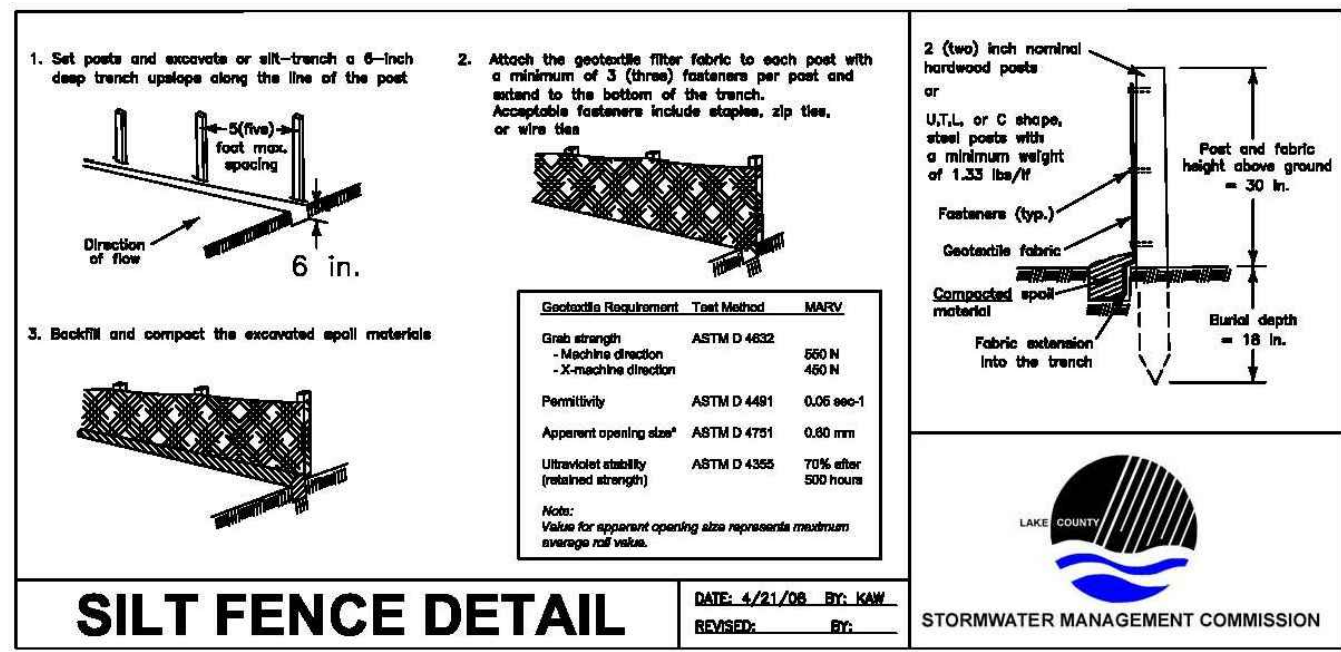
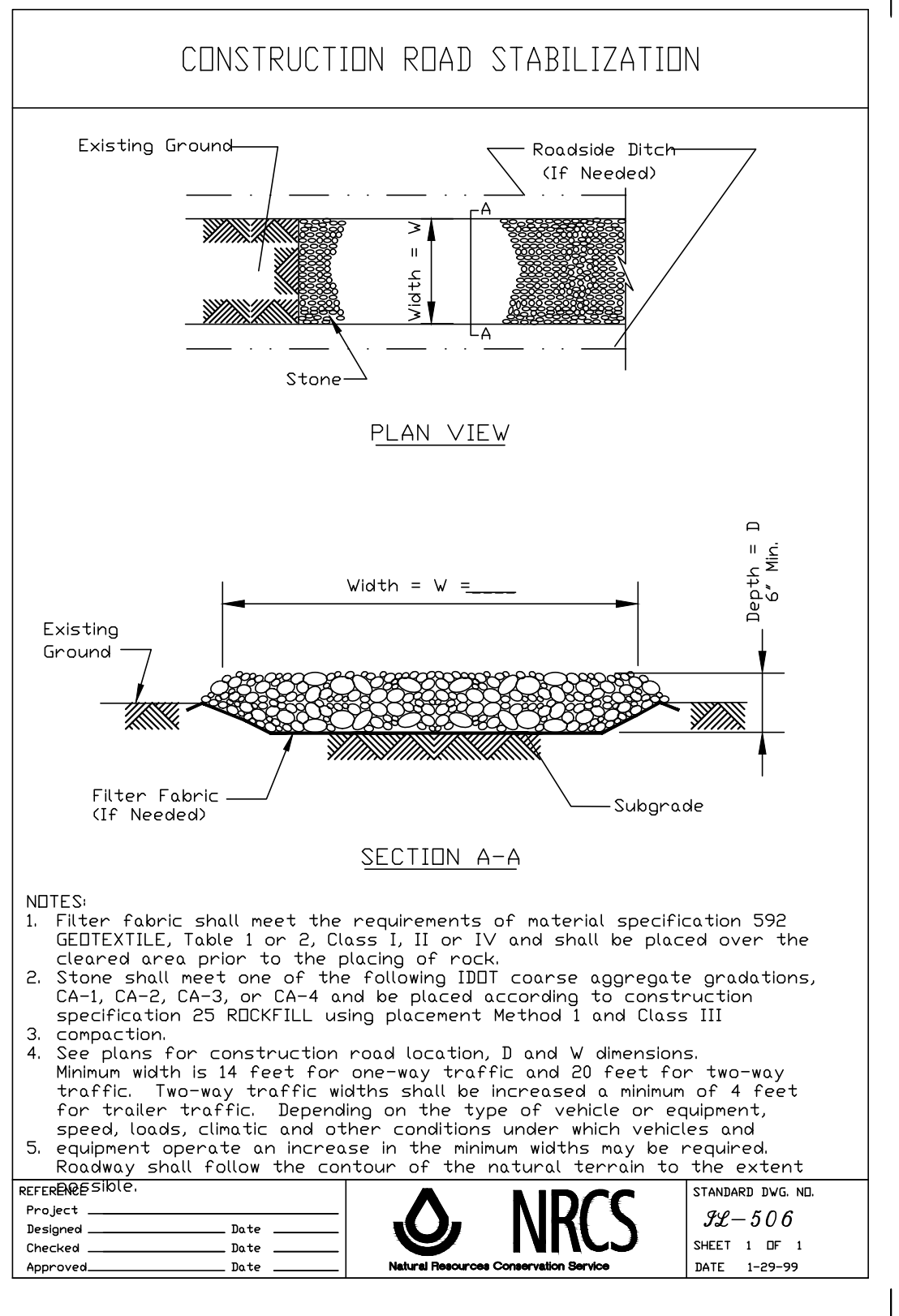
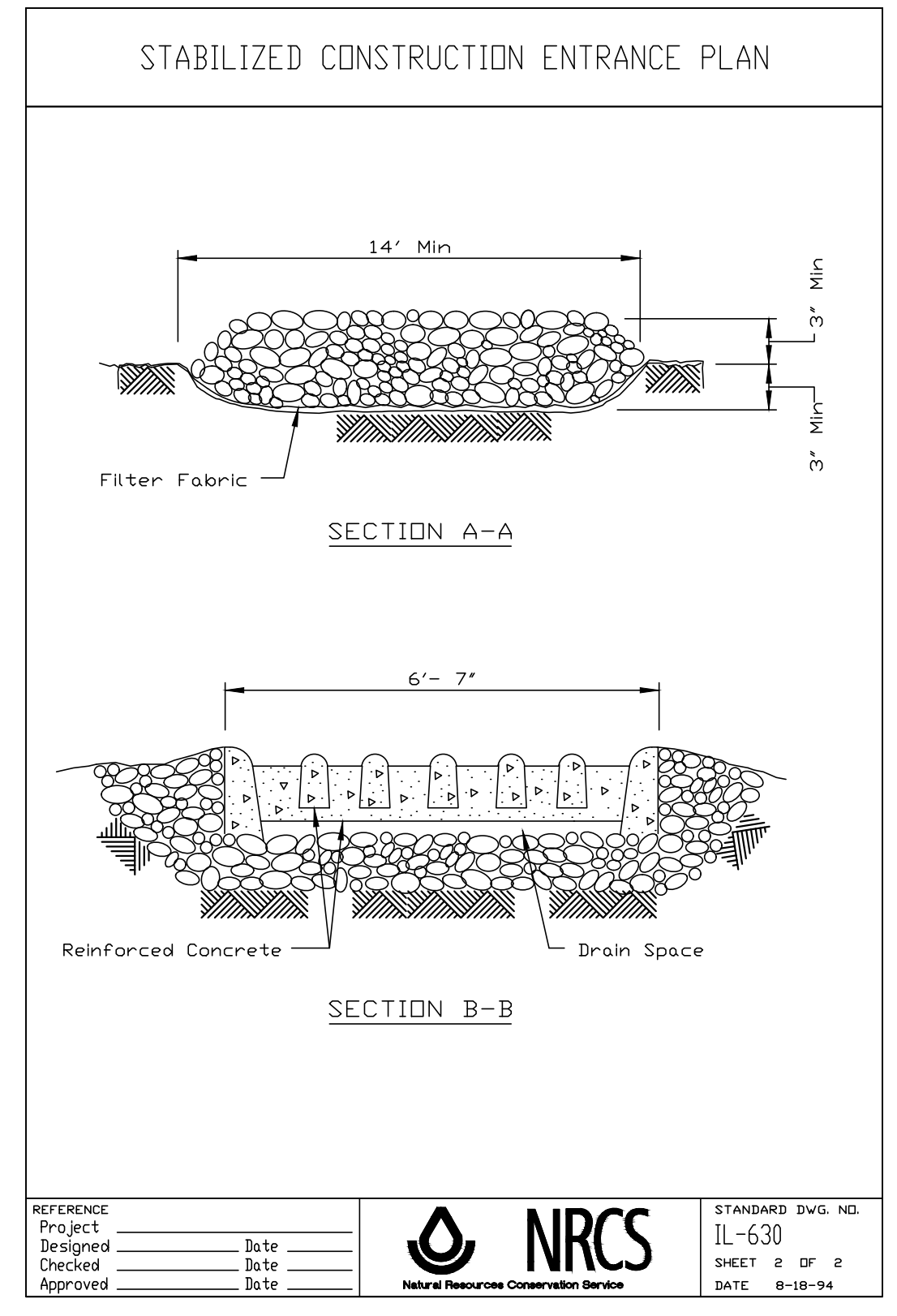
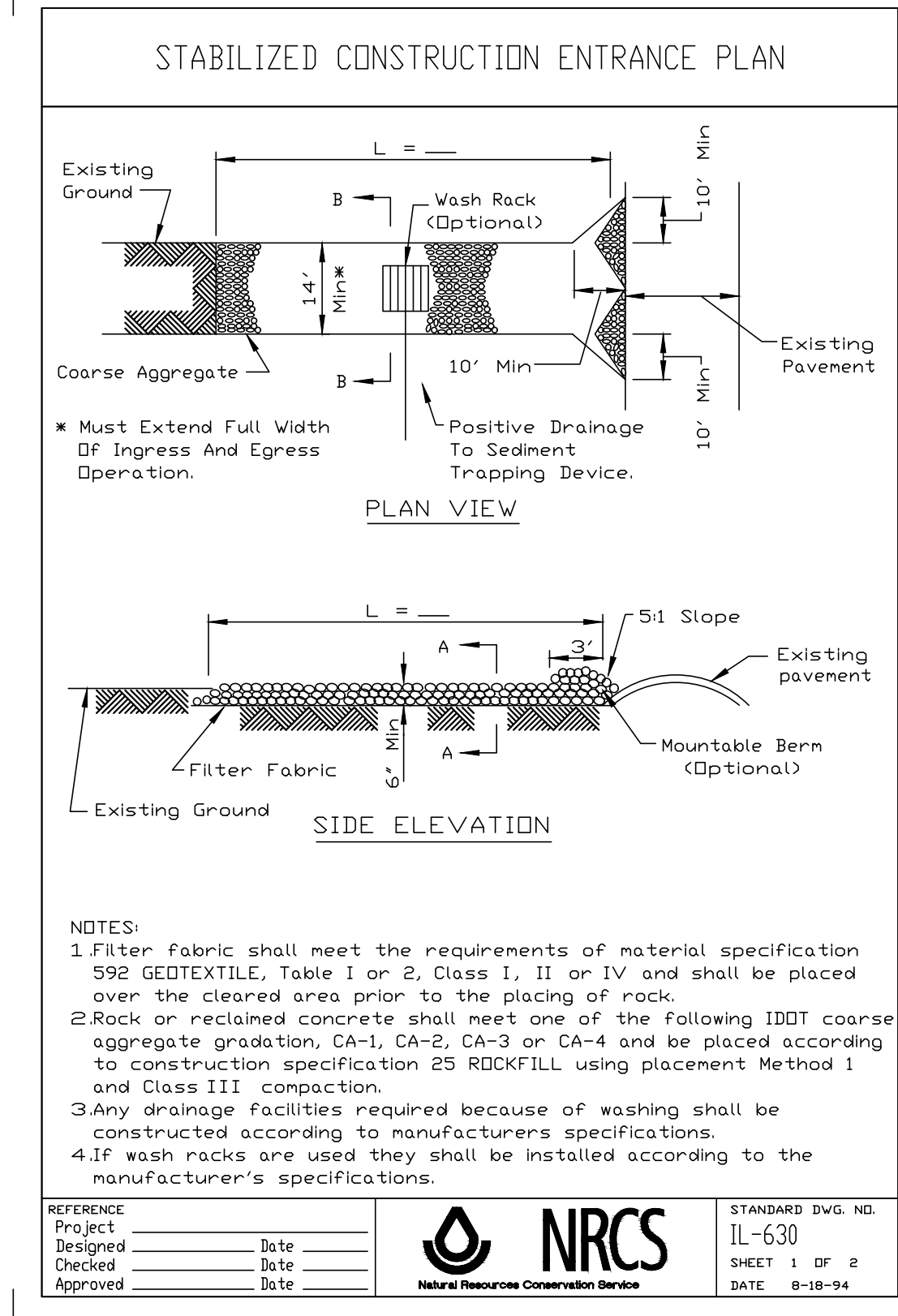
NORMAN J. TOBERMAN & ASSOCIATES, LLC
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115 S. Wile Road, Suite 101, Arlington Heights, IL 60005
P: (847) 441-4104 | n.j.toberman@toberman.us
IL Design Firm: 184.005910
Expires: 4-30-2025

DETAIL SHEET
PROPOSED DEVELOPMENT
DEEP LAKE RD. / GRASS LAKE RD.
LAKE VILLA, IL



DATE	03/09/24
DRAWN BY:	CJT/SF
DESIGN BY:	CJT/SF
APPROVED BY:	CJT

Sheet No.
C-7.2
NJT Project No.
24-7543



NO.	DATE	REVISION
1	05-09-24	Initial Submit
	03-25-24	Per 801 Tower Drive - Plan Review #1 (04-20-24)
		Per 801 Tower Drive - Engineering Review (04-19-24)
		Per PUD Amendment Memorandum (04-18-24)

NORMAN J. TOBERMAN & ASSOCIATES, LLC

CIVIL ENGINEERS & SURVEYORS

115 S. Wilke Road, Suite 200, Arlington Heights, IL 60005

708.471.1100 | njt@toberman.us

IL Design Firm: 154.005910

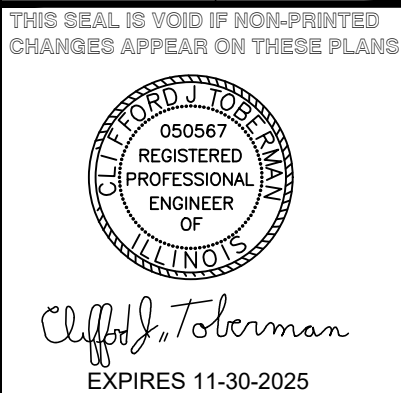
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DETAIL SHEET

PROPOSED DEVELOPMENT

DEEP LAKE RD. / GRASS LAKE RD.

LAKE VILLA, IL



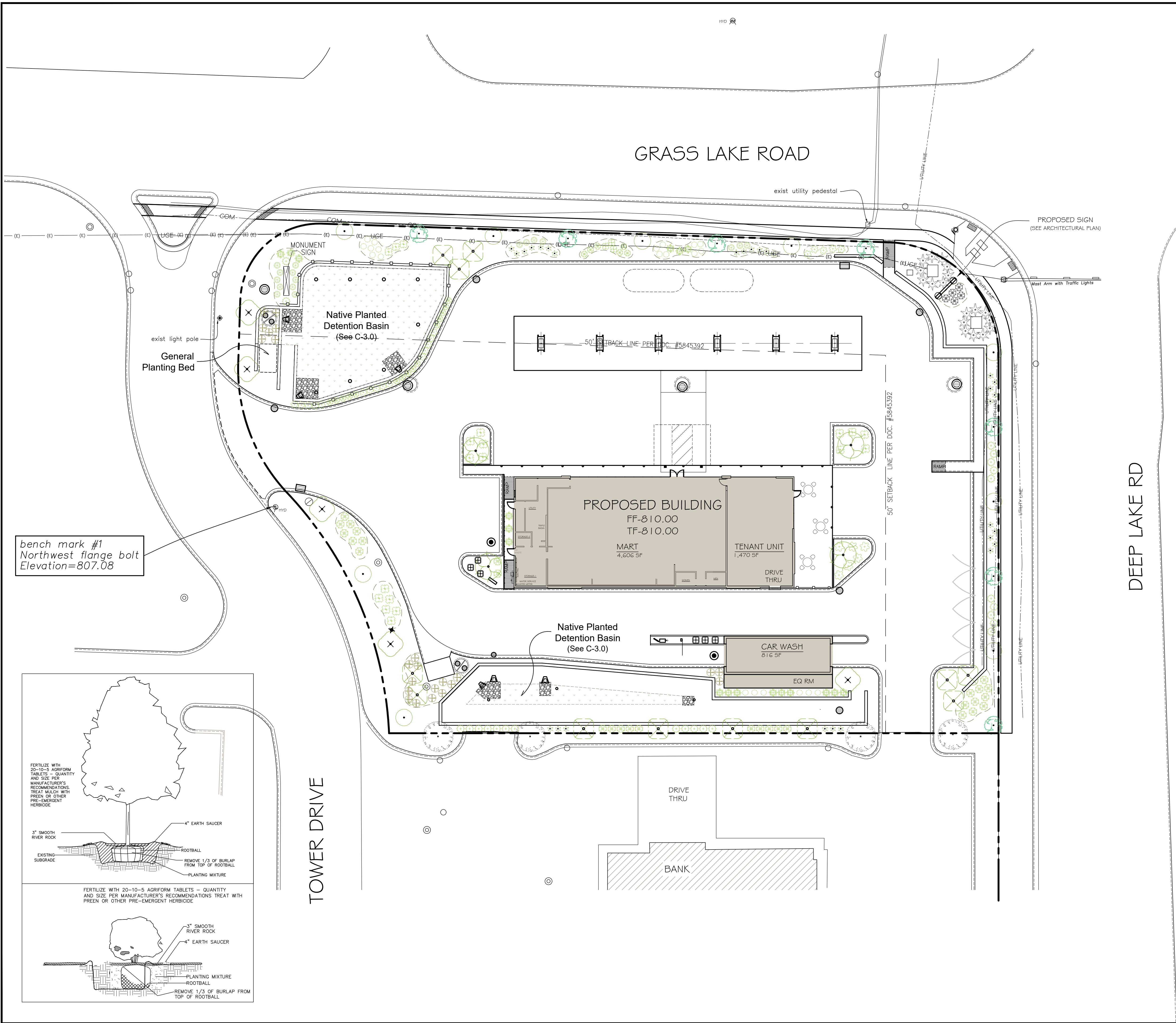
DATE	03/09/24
DRAWN BY:	CJT/SF
DESIGN BY:	CJT/SF
APPROVED BY:	CJT

Sheet No.

C-7.3

NJT Project No.

24-7543



PLANTING LEGEND

TREES

SHRUBS

PERENNIALS & GRASSES

General Planting Bed Designation ***

0' 10' 20'

SCALE: 1"=20'

CALL 48 HOURS BEFORE

REVISION

DATE

NO.

NORMAN J. TOBERMAN & ASSOCIATES, LLC

CIVIL ENGINEERS & SURVEYORS

115 S. Wile Road, Suite 201, Arlington Heights, IL 60005

773.477.1147 mail@toberman.us

IL Design Firm: 184.005910

Expires: 4-30-2025

LANDSCAPE PLAN

PROPOSED DEVELOPMENT

DEEP LAKE RD. / GRASS LAKE RD.

LAKE VILLA, IL

THIS SEAL IS VOID IF NON-PRINTED CHANGES APPEAR ON THESE PLANS

050567

REGISTERED PROFESSIONAL ENGINEER OF ILLINOIS

EXPIRES 11-30-2025

DATE

03/09/24

DRAWN BY:

CJT/SF

DESIGN BY:

CJT/SF

APPROVED BY:

CJT

Sheet No.

L-1.0

NJT Project No.

24-7543

JON M. TACK, P.E.
PROFESSIONAL ENGINEERING SERVICES

MEMORANDUM

TO: Mike Strong, Village Administrator

FROM: Jon M. Tack, P.E.

DATE: 6-3-2024

SUBJECT: 801 Tower Drive – New Gas Station-Plan Review #2- Approved with Conditions

CC: Building File

Below are the comments from the review of:

- Site Plan New Gas Station, 801 Tower Drive, Lake Villa, dated 5-17-2024, Prepared by Eriksson Architecture.
- Civil Plans, 801 Tower Drive, Lake Villa, dated 5-9-24, Prepared by Norman J. Toberman & Associates, LLC.
- Stormwater Report, 801 Tower Drive, Lake Villa, dated 5-13-2024, Prepared by Norman J. Toberman & Associates, LLC.

General Comments

1. Final engineering shall provide contact information for the required designated erosion control inspector (DECI). Weekly reports from the DECI will need to be emailed to the Village.
2. Prior to Final Approval of the stormwater improvements maintenance plan for the stormwater facilities needs to be provided for review, approval, and then recorded with the plat for the stormwater facilities.
3. A 3-year maintenance and monitoring program with biannual reports to the Village on the quality and establishment of the wetland, to be prepared by a wetland specialist. A maintenance surety shall be on deposit during the monitoring program.
4. All applicable permits shall be received by the Village prior to the issuing of a Site Development Permit, such as LCDOT & NPDES-NOI.
5. Provide copy of the EcoCAT results from IDNR.
6. Prior to Final Approval of the stormwater improvements, as-built/record drawings shall be provided for all stormwater facility improvements per the WDO.
7. Provide three (3) copies of the revised plan, two (2) copies of the Stormwater Report and a PDF copy of all items emailed to jtrackpe@comcast.net. Plan and reports shall be signed and sealed by a professional engineer licensed in the state of IL.



MEMORANDUM

TO: Mike Strong, Village Administrator
FROM: Scott Goldstein, FAICP LEED AP, Principal
DATE: May 23, 2024
SUBJECT: 801 Tower Drive

GENERAL INFORMATION

Project Name: 801 Tower Drive Convenience Store and Gas Station
Location: Southwest Corner, Grass Lake Road and Deep Lake Road, Village of Lake Villa
Action: Amendment to a Planned Unit Development (PUD)

Project Summary

The Applicant is proposing an amendment to a Planned Unit Development (PUD) for a site located at the southwest corner of Grass Lake Road and Deep Lake Road. The Village granted a PUD in 2020 with underlying SB- Suburban Business. There are two retail buildings on the site, a commercial strip center and a bank. The site abuts three sides of a property on which a water tower is located along Deep Lake Road.

The amendment would alter the configuration of a proposed convenience store/gas station on a vacant parcel at the northeast corner of the site. The southern portion of the site was amended in 2023 to allow for senior housing. There is currently a pending proposal for a Dunkin' restaurant at 802 Tower Drive at the northeast corner of the site.

The project is adjacent to SR-2 Single-Family Homes to the south, SR-3 Townhomes to the west, SR zoning for an elementary school to the north, and R-1 zoning for high school athletic fields to the east.

Planned Development Guidelines (10-9-1.5)

- A. The planned development shall be consistent with the intent and purpose of these zoning regulations.

The proposed project is consistent with SB zoning and the PUD that was approved by the Village in 2020.

- B. The planned development shall be generally compatible with the character of the underlying zoning district and neighborhood in which it is located.

The proposed project is located on arterial streets with a commercial character.

- C. The planned development should be consistent with the village's official comprehensive plan.

The proposed project is consistent with the Village's 2022 Comprehensive Plan which shows the property as Mixed Use.

- D. The planned development should preserve the value of the surrounding residential area and must be compatible with surrounding land uses.

The proposed project is compatible with the mixed-use character of neighboring properties.

- E. Significant physical, topographical, environmentally sensitive or historical features of the site of the planned development, which are of importance to the community, should be preserved.

There are no additional impediments to the site.

- F. The entire property proposed for planned development treatment shall be in single ownership or under such unified control, or the petition shall include a unit of local government as a petitioner or as a co-petitioner, so as to ensure that the entire property will ultimately be developed as a unified whole.

The project affecting this portion of the site is being proposed by a single owner.

Comments

To assist the Village in evaluating the proposed Planned Development, the following comments about the current site plan are provided:

Setbacks:

- No comments.

Land Use / Zoning:

- No changes in use from approved PUD.

Public Benefits:

- The Plan Commission should review the project to ascertain public benefits such as open space and native planting that has been added to the proposed development and improved pedestrian access compared with the 2020 PUD.

Site Layout

- No additional comments.

Walkability, Trail and Pedestrian Safety

- Sidewalk connectivity has been provided along Grass Lake Road and Deep Lake Road.
- The sidewalk connection between Grass Lake /Deep Lake Road to the proposed convenience store has been added to the site plan.

Traffic, Circulation and Parking

- Zoning relief for parking spaces would continue to be required. Thirty-six (36) parking spaces are provided, an increase of twenty-two (22) spaces from the 2020 PUD, compared with 60 spaces required based on underlying zoning for a convenience store use.

Landscaping

- Add landscape buffering at southern boundary of site adjacent to Bank per Plan Commission comments.

Signage

- No more than two business signs shall be permitted per business use (Subsection 4.10.5) Two are shown for the gas station, two for the ancillary retail and one for the car wash. If the car wash is part of the gas station business, the planned development would need to allow for this additional sign.
- Total wall signage area of 120 square feet is within non-residential signage requirements.
- Ground Signs:
 - Applicant has requested 18 feet tall ground sign due to existing landscaping that would block view of the sign. The Zoning Ordinance only allows twelve (12) feet high signs.
 - Total ground sign area of 107 square feet is within sign limitations of 120 square feet.
- Ground Sign Landscaping Requirements: All permanent ground signs shall provide a landscaped area with appropriate natural plant material ground cover and/or other landscape plantings located at the base of said ground sign equal in area to the sign surface area. When earthen berms are used as part of said landscaping, the earthen berms shall maintain a side slope of no greater than three to one (3:1) with a maximum berm height of three feet (3') above adjacent surrounding grade. When earthen berms are used, such earthen berms shall count toward the maximum permissible sign height.
- Standards For Digital Signs And/Or For Digital Displays: Applicant will verify compliance with all Zoning and permit requirements.



Date: June 3, 2024 **Project #:** 6563 – EA5 – 801 Tower Drive

To: Mike Strong, Village Administrator

Organization: Village of Lake Villa

From: Robert Doeringsfeld, P.E.

Regarding: 801 Tower Drive – Engineering Review

Cc: _____

We have received and reviewed the following documents related to the Proposed Development located at 801 Tower Drive:

- Boundary Survey – WT Group – Dated 1/9/2019
- Proposed Development Civil Engineering Plans – Dated 3/09/2024
- Site Plan – Eric Eriksson Architect – Dated 05/02/2024

We have reviewed the preliminary submittal for conformance with water, sanitary sewer, pavement, and site considerations and have the following comments.

Proposed Development Civil Engineering Plans

Drawing C – 2.0

1. Show all 20-foot, 10-foot, and 15-foot utility easements see sheet SUR-1.
2. Show existing water utilities along with the Tower Drive water main crossing.

Drawing C – 7.0

- a) Water Service Connection Detail. The following are the only acceptable products:
 - a. Curb Box: Mueller H 10300 Minneapolis Style
 - b. Curb Stop: Muller 25454
 - c. Corporation Stop: Mueller 25000 series
 - d. Service Saddle: Stainless Steel Fulle Saddle Smith-Blair 372

Items to be provided

3. The selected parking lot pavement method/ materials will be provided to the Village prior to construction.
6. A LCDOT approval letter is that will be submitted upon receipt.
8. The water meter shall be coordinated with Village of Lake Villa Superintendent of Utilities for permitting and requirements of meter.
11. The carwash drain system provided by the manufacturer.